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## VILLAGE BOARD WORK SESSION MEETING

Tuesday, October 11, 2016 – 7:30 p.m.

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### AGENDA

- 1. Call to Order**
- 2. Pledge of Allegiance**
- 3. Roll Call**
- 4. Presentation of the Fiscal Year 2016 Annual Financial Report**
- 5. Public Participation (agenda and non-agenda related)**
- 6. Building & Zoning Committee Items**
  - A. Discussion & Action – 1000 E. 31<sup>st</sup> St. - Fire Sprinkler Variation Request *Motion: To consider a Variation from the Village of La Grange Park Fire Prevention Code (Ordinance #730), Section 1.10 Automatic Supervised Fire Suppression Systems, Subsection (D), allowing for the omission of fire sprinkler protection in the existing combustible bowstring truss attic.*
  - B. Discussion – Sisters of St. Joseph & Presence Health – Amendment to Planned Unit Development [#2016-04] – *Motion: Approve an ordinance granting amended Final Plat of Planned Unit Development for Bethlehem Woods Retirement Living Center at 1515 W. Ogden Avenue – Sisters of St. Joseph of La Grange and Presence Health – Public Hearing #2016-04*
  - C. Discussion – Sisters of St. Joseph & T-Mobile – Special Use Permit & Variation [#2016-05] – *Motion: Approve an ordinance granting a special use permit for a wireless telecommunications tower and granting a variation for 1515 W. Ogden Avenue – Sisters of St. Joseph of La Grange and T-Mobile Central, LLC – Public Hearing #2016-05*



## **Rules for Public Comment**

### **Village Board Work Session Meetings Village Board Meetings**

1. Please step up to the microphone before speaking, and announce your name and address before beginning your comments.
2. After announcing your name and address for the record, you will be allowed to speak for three (3) minutes.
3. You may not use profane or obscene language and you may not threaten any person with bodily harm, or engage in conduct which amounts to a threat of physical harm.
4. (a) Agenda-related comments: The Village President reserves the right to disallow comments that are repetitive of comments previously made during the meeting, or comments that do not relate to agenda items.  
  
(b) Non-agenda-related comments: The Village President reserves the right to disallow comments that are repetitive of comments previously made during the meeting, or comments that do not relate to Village business, Village services or Village governance.
5. The Village of La Grange Park complies with the Americans with Disabilities Act of 1990. If you require accommodations in order to observe or participate in the meeting, please contact Ms. Deanne Curelo at (708) 354-0225 between 9:00 and 5:00 before the meeting so that the Village can make reasonable accommodations for you.

# **Building & Zoning Committee Divider**

**Jamie Zaura, Chairwoman**

**Scott Mesick**

**James Kucera**

# Village Board Agenda Memo

**Date:** October 6, 2016

**To:** Village President and Board of Trustees

**From:** Dean J. Maggos, Director of Fire, Building and Emergency Management  
Julia Cedillo, Village Manager



**Re:** Fire Sprinkler Variation Request – 1000 E. 31<sup>st</sup> St.

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## GENERAL BACKGROUND

The owner of the building located at 1000 E. 31<sup>st</sup> St. is planning to open a new business at this location. The new business will be called Cork, Keg and Spirits. The previous business had been closed in anticipation of conducting renovations to the building, including the construction of a small addition on the rear of the building. Plans have been submitted to the Building Department and are under review, and the Zoning Board of Appeals will be considering Site Plan Review for the project at their October 18<sup>th</sup> meeting.

In reviewing the submitted plans for the renovation and addition, it became apparent that the scope of the work would trigger fire sprinkler requirements of our Village Fire Prevention Code. More specifically, that fire sprinklers would need to be installed throughout the existing building, as the overall area of the building was being increased with the construction of the addition. Currently, only the basement level of the building is protected by fire sprinklers, which were installed in 2005. Installation of the fire sprinklers in the basement at the time met code requirements, as the owners at the time were not expanding the area of the building, but were seeking occupancy in the building for a mercantile liquor store. The building had previously been occupied by a home remodeling company and showroom, and previous to such, as a hardware store.

As noted, our current Village Fire Prevention Code requires that fire sprinklers be installed throughout this building, as the area of the structure is being increased. These specific requirements come from Ordinance #730, Section 1.10 Automatic Supervised Fire Suppression Systems, Subsection (D). The language is as follows, and a copy of such is attached.

*“Any modifications to any existing structure, whereby the height and/or area of a structure is increased and the structure meets or exceeds the criteria established in Table 1.10A, shall result in the requirement that the entire structure be fully protected by an approved automatic supervised fire suppression system complying with NFPA-13, 1999 edition and this code.”*

Staff met with the owner of the property and business, Mr. Neel Patel of VSN Inc., along with his contractor and architect, to discuss the overall project, and the timing and direction of such. Part of the discussion also included the Village regulations pertaining to the Fire Prevention Code and fire sprinkler requirement. Following such discussion and an exchange of information, the owner has decided to seek a Variation from the fire sprinkler requirement, specific to fire sprinkler protection in the existing combustible bowstring truss attic. As such, he formally requested a variation through his architect on October 4, 2016. Section 1.28 of the Village's Fire Prevention Code allows for this Variation request to be made, and heard by an Appeals Board, which consists of the Village President and Village Board of Trustees.

### **ACTION REQUESTED**

Discussion & Action – 1000 E. 31<sup>st</sup> St. - Fire Sprinkler Variation Request – *Motion: To consider a Variation from the Village of La Grange Park Fire Prevention Code (Ordinance #730), Section 1.10 Automatic Supervised Fire Suppression Systems, Subsection (D), allowing for the omission of fire sprinkler protection in the existing combustible bowstring truss attic.*

Pursuant to Section 1.28 of the Fire Prevention Code, the Board is to render a decision on this matter within ten (10) days after completing a hearing on this matter. As such, the Action that is being requested tonight is for both Discussion and Action as to whether or not to allow for the one year requested fire sprinkler variation.

### **RECOMMENDATION**

As you will note in the formal variation request, Mr. Patel and his architect provide justification as to why they do not want to install fire sprinklers in the attic space. They also are willing to install fire sprinklers throughout the main level of the building, and install heat detectors in place of fire sprinklers in the attic. In reviewing this information, staff is empathetic to the applicant, and appreciates the concerns that they have brought forward.

Staff though, in considering this variation request, must allow for public safety to take precedence over all else. With regard to the attic space, installing heat detectors in lieu of fire sprinkler protection does not offer the same level of protection. Heat detectors will merely detect a fire, while fire sprinklers control and suppress a fire. This is of particular concern for the attic space, due to the specific type of roof construction for the building. The roof construction in this building is considered a "bowstring truss" type of design. Over many years, the potential dangers associated with catastrophic collapse of this type of roof system has been identified, especially when exposed to fire conditions. Of particular concern is the danger presented to firefighters in fighting fires in buildings with this type of roof design. As such, the only safe and most effective way to completely protect this type of structure from fire, is to have fire sprinklers installed in the combustible attic space.

With regard to concerns about the type of fire sprinkler system that may be needed, please note the following. Although a dry-pipe fire sprinkler system does require additional maintenance, and there are some valid concerns about corrosion over the long term, these systems are not unique, and function very well when properly maintained. With further research and design considerations, there may also be the opportunity to avoid having to install a dry-pipe system in this attic space, and use a conventional wet-pipe system.

Overall, staff strongly believes that installing fire sprinklers throughout the building, including the attic space, would provide the best possible protection for this structure, including any occupants, adjoining properties, and any responding firefighters should a fire occur. As such, staff's recommendation is to not grant the requested variation.

### **DOCUMENTATION**

- Fire Prevention Code sections pertaining to variation request
- Correspondence from building owner / architect requesting the variation
- Exterior Building Photos and Satellite View
- Diagram and Photo of bowstring truss design
- Article on Hazards of Bowstring Truss Construction
- Wet-Pipe and Dry-Pipe fire sprinkler design schematics



# **FIRE PREVENTION CODE**

**ADOPTED 8/12/03 (Ordinance #730)**

Any person appealing a decision of the fire code official shall make the appeal by written notice filed in the Office of the Director of Fire and Building, 447 North Catherine Avenue, La Grange Park, Illinois 60526, within thirty (30) days from the date of the decision being appealed.

The Director of Fire and Building shall request that the Appeals Board call a hearing on said appeal within thirty (30) days of said notice of appeal filing. The Appeals Board shall consist of the Village President and Village Board of Trustees. The Appeals Board shall render a decision within ten (10) days after completing such hearing.

Nothing shall prevent the Village from seeking immediate enforcement of the regulations of this Chapter in court where the hazard involved requires such action.

### **§ 1.28 VARIATIONS**

If any person, firm, corporation or agent feels the provisions of this code constitute a unique or particular hardship relating to the use, construction or alteration of structures, a petition for a variation may be submitted. The granting of a variation may be made by the Village President and Village Board of Trustees when it shall find that documentation and evidence presented by the petitioner indicates the following:

- (1) The plight of the petitioner is due to unique circumstances.
- (2) The granting of the variation will not be detrimental to the public welfare or injurious to other adjoining properties.
- (3) Any person presently having an interest in the property has not created the alleged difficulty or hardship.
- (4) The purpose of the variation is not based exclusively upon cost.
- (5) The particular physical characteristics of the structure involved would result in an additional actual hardship upon the owner if the strict letter of the codes were carried out.

Any person requesting a variation of the fire code official shall make the request by written notice filed in the Office of the Director of Fire and Building, 447 North Catherine Avenue, La Grange Park, Illinois 60526.

The Director of Fire and Building shall request that the Village President and Village Board call a hearing on said variation within thirty (30) days of said notice of variation filing. The Appeals Board shall consist of the Village President and Village Board of Trustees. The Appeals Board shall render a decision within ten (10) days after completing such hearing.

### **§ 1.29 TEMPORARY CERTIFICATE OF OCCUPANCY**

The Director of Fire and Building shall determine that any building under construction or renovation shall be completed in a manner as described hereinafter before any occupancy whatsoever shall be permitted whether whole or in part.

Due to architectural characteristics and design it may be required that additional protection and fire separation shall be provided for the health, safety, and welfare of the occupants before any temporary occupancy is permitted, of a newly constructed or an existing building.

**§ 1.10 AUTOMATIC SUPERVISED FIRE SUPPRESSION SYSTEMS**

(A) All new construction that is equal or greater than the "total building area" criteria established in Table 1.10A shall be fully protected with an approved automatic supervised fire protection system complying with NFPA-13, 1999 edition. Where any part of the structure has a use group or occupancy type meeting the criteria listed in Table 1.10A, and the use group classification or occupancy type is in only a portion of the building, the entire building shall be fully protected by the approved automatic supervised fire protection system complying with NFPA-13, 1999 edition and this code.

Exception: R-3 and R-4 Type Occupancies.

(B) All new R-3 and R-4 type occupancies shall be fully protected with an approved automatic supervised fire protection system complying with NFPA-13D, 1999 edition.

(C) Any modifications to any existing structure, whereby the use group classification or occupancy type (as defined in BOCA) within a structure or portion thereof changes, and the structure meets or exceeds the criteria established in Table 1.10A, shall result in the requirement that the entire structure be fully protected by an approved automatic supervised fire suppression system complying with NFPA-13, 1999 edition and this code.

- Exceptions:*
- (1) Where the use group classification or occupancy type changes to a B (Business) or M (Mercantile) classification; and
  - (2) The total area involving the change of use is less than 5,000 square feet; and
  - (3) No other provisions of code would otherwise require the structure to be sprinklered.
  - (4) R-3 and R-4 Type Occupancies.

(D) Any modifications to any existing structure, whereby the height and/or area of a structure is increased and the structure meets or exceeds the criteria established in Table 1.10A, shall result in the requirement that the entire structure be fully protected by an approved automatic supervised fire suppression system complying with NFPA-13, 1999 edition and this code.

- Exceptions:*
- (1) R-3 and R-4 Occupancies.
  - (2) Where the height of a building is increased due to the roof of a structure being altered, and there is no useable space for storage, mechanical, or occupants created by the alteration.

(E) Any modifications to any existing structure, whereby the cost of modifications would be greater than 50% of the value of the structure, and the structure meets or exceeds the criteria established in Table 1.10A, shall result in the requirement that the entire structure be fully protected by an approved automatic supervised fire protection system complying with NFPA-13, 1999 edition and this code.

*Exceptions:* R-3 and R-4 Type Occupancies.

**Table 1.10A**

**OCCUPANCIES REQUIRING AUTOMATIC FIRE SUPPRESSION SYSTEMS  
BY OCCUPANCY TYPE CLASSIFICATION AND TOTAL BUILDING AREA**

<b>OCCUPANCY TYPE</b>	<b>WHERE REQUIRED</b>
A-1 Assembly (Theaters)	Required in all
A-2 Assembly (Nightclubs and similar uses)	Required in all
A-3 Assembly (Lecture halls, rec. centers, restaurants, not nightclubs)	Required in all
A-4 Assembly (Churches)	Required in all
B Business	Required (>2000 SF)
E Educational	Required in all
F-1 Factory & Industrial (Moderate)	Required in all
F-2 Factory & Industrial (Low)	Required in all
H High hazard	Required in all
I-1 Institutional (Residential care)	Required in all
I-2 Institutional (Incapacitated)	Required in all
I-3 Institutional (Restrained)	Required in all
M Mercantile	Required (>2000 SF)
R-1 Residential (Hotels)	Required in all
R-2 Residential (Multiple-family)	Required in all
R-3 Residential (Attached single family)	Required in all
R-4 Residential (One & Two Family Dwellings)	Required in all
S-1 Storage (Moderate)	Required (>2000 SF)
S-2 Storage (Low)	Required (>2000 SF)
U Utility (Miscellaneous)	Required (>2000 SF)

**§ 1.11 STANDPIPE SYSTEMS**

(A) Supervised Automatic standpipe systems shall be installed in accordance with NFPA 14, Standard for the Installation of Standpipe and Hose Systems 1996 edition, as well as all provisions within this Chapter, and Section 1.10 of this Chapter, throughout all buildings in which the floor level of the highest story is located more than two stories above the lowest level of the fire department vehicle access or in which the floor level of the lowest story is located more than two stories below the highest level of fire department vehicle access.

(B) Supervised Automatic standpipe systems shall be installed in accordance with NFPA 14, Standard for the Installation of Standpipe and Hose Systems 1996 edition, as well as all provisions within this Chapter, and Section 1.10 of this Chapter, throughout all buildings where any portion of the building floor area is greater than one hundred fifty (150) feet of travel from the nearest point of fire department access via a hard surface pavement. All required standpipe systems shall be installed in a location determined by the Chief of the Fire Prevention Bureau or his/her designee prior to any installation.

(C) Any persons wishing installation of a required standpipe system within any building, other than one and two family residential, shall obtain a permit issued by the Chief of the Fire

October 4, 2016

Attn: Mr. Dean J. Maggos, EFO  
Director of Fire, Building and Emergency Management  
Village of La Grange Park  
447 N. Catherine Street  
La Grange Park, Illinois 60526

Re: Request for Automatic Fire Suppression Coverage Variance

Project Address:  
1000 E. 31<sup>st</sup> Street  
LaGrange Park, Illinois



Dear Fire Chief Maggos,

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On behalf of Mr. Neel Patel of VSN Inc., he would like to have his project, an existing 3,000 square foot masonry wall and wood truss building renovation and 242 square foot addition, be considered for an automatic fire suppression coverage variance from:

1.10 AUTOMATIC SUPERVISED FIRE SUPPRESSION SYSTEMS (D) Any modifications to any existing structure, whereby the height and/or area of the structure is increased and the structure meets or exceeds the criteria of Table 1.10A OCCUPANCIES REQUIRING AUTOMATIC FIRE SUPPRESSION SYSTEMS BY OCCUPANCY TYPE CLASSIFICATION AND TOTAL BUILDING AREA: Mercantile "M" Occupancy use; Required (>2,000 SF). *(as amended from the >6,000 SF by the Village of La Grange Park)*

A coverage exception is being sought for the full sprinkler coverage of the existing bow-string truss attic, whereby implementation of dry coverage system would be avoided, with its associated sprinkler head maintenance and failure problems due to pipe corrosion. Proposed is the addition of a 1-hour fire separation to the existing 3/4" plaster ceiling. Additionally, the existing attic would be provided with heat detector devices wired to the existing fire alarm system. New sprinkler coverage of the existing first floor and building addition would be added from the existing basement fire suppression system. Also, the new interior renovation includes the elimination of two gas-fired furnaces from the building first floor and basement interior. The proposed new heating plant will be located at the building addition utility room. Additionally, all duct runs and electrical wiring at the attic will be abandoned, in lieu of placement in new soffits located below the attic ceiling and proposed 1-hour fire separation.

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Respectively yours,

David K. Jurina  
Architect LEED AP BD+C

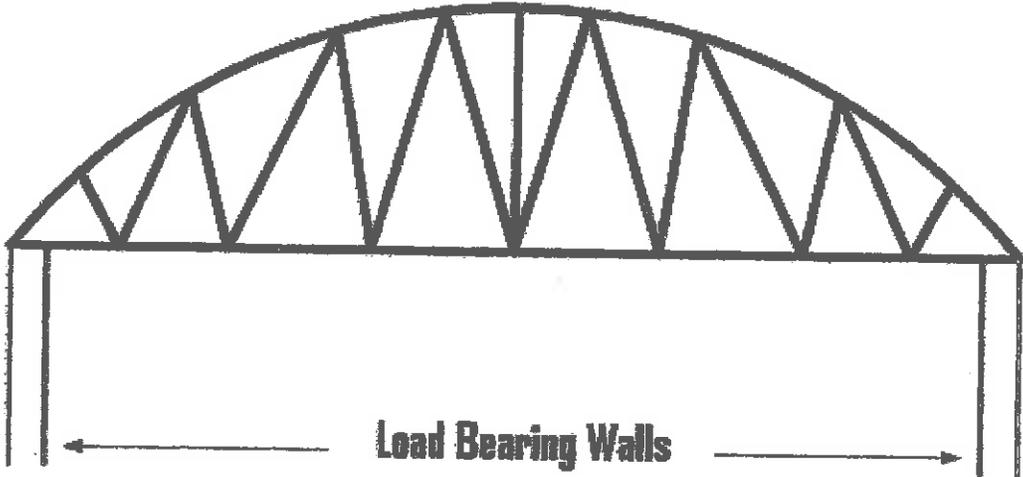


Google Earth feet 20 meters 6



Google Earth feet 10 meters 5

# Typical Bowstring Truss





# Bowstring Truss Roof Construction Hazards

01/10/2013

Chicago firefighters evacuate a fireman from an abandoned commercial building on the city's South Side on Dec. 22, 2010. Two firefighters were killed and 19 were injured when the bowstring truss roof of the structure collapsed 16 minutes after firefighters arrived and several minutes after the fire had been reported under control. (AP Photo/Chicago Sun-Times, Brian Jackson)

About 80 years ago, the bowstring truss roof became a popular construction element in the United States. Prior to 1960, it was reportedly one of the most common design types for commercial and industrial structures. The design worked particularly well for structures that had large, open spaces with no supporting columns in the middle, such as car dealerships and other vehicle storage buildings, supermarkets, bowling alleys and skating rinks.

Over time, some of these buildings have been converted to other types of businesses or structures, making the presence of a bowstring truss roof less obvious. Although not used in construction as often today, bowstring trusses are still around, often to create an arched or rounded roof, such as those found at high-end car dealerships. It's important that every firefighter be able to identify a building with a bowstring truss roof (the arch generally gives it away), and understand the tactics and precautions necessary to handle a fire in a building with this construction feature.

## A Tragic History

There have been a number of collapses of bowstring truss roofs that have killed and injured many firefighters:

- Six FDNY firefighters were killed and 34 injured in August 1978, when the bowstring truss roof of Waldbaum's Supermarket collapsed during a fire. Many of the firefighters were operating on the roof when it collapsed, which occurred less than an hour into the incident.
- In July 1988, five Hackensack (N.J.) firefighters were killed when a bowstring truss roof collapsed a little more than 30 minutes after the fire was reported in the Hackensack Ford Dealership. (For more on this fire, visit <http://my.firefighternation.com/profiles/blogs/hackensack-tragedy-a-failure>.)
- In May 2009 a San Francisco firefighter was seriously injured while operating a 2½" hoseline when a commercial warehouse's awning, which was part of a bowstring truss roof system, collapsed and struck him, causing him to be hospitalized (<http://my.firefighternation.com/forum/topics/san-francisco-firefighter-hurt>). There was no preplan of the building.
- Two Chicago firefighters were killed and 19 were injured in December 2010, when the bowstring truss roof of a vacant commercial structure collapsed 16 minutes after firefighters arrived and several minutes after the fire had been reported under control (<http://my.firefighternation.com/forum/topics/chicago-firefighters-trapped>).
- In September 2011, a collapse occurred shortly after units responded to a fire at a vacant car dealership in Illinois. In this case, firefighters were operating in defensive mode, so there were no injuries/fatalities.
- One volunteer firefighter was killed and two more were injured in March 2012, when the bowstring roof of the Abby Theatre in Abbotsford, Wis., collapsed ([www.firefighternation.com/article/news-2/wisconsin-theater-collapse-kills-one-firefighter-injures-three-others](http://www.firefighternation.com/article/news-2/wisconsin-theater-collapse-kills-one-firefighter-injures-three-others)). There was no preplan information about the roof.

These are just some of the more glaring examples; there are numerous others.

## Preplans & Communication

Fires in buildings with bowstring truss roofs can confound even the most experienced chief officer; often, they may not know that the building has a bowstring truss roof, which is usually due to either a lack of preplanning or a lack of communicating an informal (or formal) preplan. They also may not have studied the performance of these types of buildings under fire conditions. An effective size-up could

identify this hazard.

Local companies initially arriving on the scene of a fire in a building with a bowstring truss roof should clearly communicate any critical preplan information by radio to all incoming units. In larger departments where the battalion or deputy chief is coming from a distance and may not know the building, that information will be particularly critical. (For more on the different types of radio reports and why they're important, visit [www.firefighternation.com/article/communications/radio-reports-review](http://www.firefighternation.com/article/communications/radio-reports-review).)

If the information is not yet clear, and firefighters going to the roof discover bowstring truss construction, they must communicate this information quickly and clearly to the incident commander (IC). Note: At the 2009 collapse in San Francisco, the initial report given stated that there was a working fire in a type II (non-combustible) occupancy when it was actually a type IV (heavy timber) occupancy. At the 2012 collapse, none of the initial-arriving companies identified the presence of a bowstring truss roof.

### Down & Out Dangers

The Wisconsin collapse was investigated by NIOSH, which clearly documented some of the hazards inherent in bowstring truss roofs in its Firefighter Fatality Investigation Report ([www.cdc.gov/niosh/fire/pdfs/face201208.pdf](http://www.cdc.gov/niosh/fire/pdfs/face201208.pdf)): "The principles of bowstring truss construction are similar to other types of truss construction in that web members are used to form multiple series of triangles that transfer tension from the bottom chord and compression from the top chord of the truss onto the load bearing walls. One big difference with the bowstring truss is that the compressional forces within the top chord act to force the load bearing walls outward as well as downward.

"Bowstring truss roof systems may suffer from a little-known phenomenon related to inaccuracies in early industry-accepted truss design assumptions. One significant design deficiency involves the tensile strength of the bottom chord. Early truss designs assumed wood tensile strength could be defined by bending tests of small, straight-grained wood samples free of common wood defects. Prior to the 1960s, large-scale test facilities were uncommon, so full-size lumber tests were rarely conducted. During the 1960s, full-size lumber tests revealed that construction-grade lumber with natural imperfections (such as knots, checks and irregular grain) provides in-service tensile strength significantly less than that predicted by the earlier small-scale, clear wood tests. By 1968, lumber industry standards established a reduction factor of 0.55 to relate tensile strength to bending strength. Current building codes have increased this factor to 0.60, meaning the allowable tensile strength design values are only about 40 percent of those listed in the early codes. Thus, all trusses constructed prior to the late 1960s have a common code deficiency; the bottom chord members may have inadequate tensile strength to support code-prescribed roof loads."

To put this into simpler terms, buildings with bowstring truss roofs will not only collapse downward, but can also force the load-bearing walls, upon which the trusses sit, outward in a collapse situation. Normally, this presents the greatest danger on the "B" and "D" sides of a building, if we assume that you can see the roof curve from the "A" side. However, once the "B" and "D" sides are compromised, wall failure is very likely on the "A" and "C" sides. Additionally, buildings built with bowstring trusses prior to advances in large-scale fire testing in the 1960s could have a lower safety factor and thus a higher susceptibility to collapse than buildings built in later years.

### Other Collapse Hazards

Buildings built with bowstring truss roof structures have a number of other factors that can make them susceptible to collapse. For example, bowstring trusses can be constructed of wood or steel, but most often, they're made of wood—often heavy timber.

They also have construction features that make firefighting in these buildings different than other buildings. In the San Francisco building, the trusses had a clear span of 50 feet, and were almost 20 feet apart and 50 feet deep. Although the construction materials of the truss were solid, "heavy timber" and connected with bolt fasteners with metal splice plates on the bottom chord, the truss assembly was exposed with no ceiling membrane or fireproofing. This is typical of a bowstring truss roof structure. The NIOSH report ([www.cdc.gov/niosh/fire/reports/face200921.html](http://www.cdc.gov/niosh/fire/reports/face200921.html)) indicates that: "The curved top chord members were made either by sawing straight lumber into curved shapes or laminating multiple smaller pieces bent over a jig to the desired shape. Bottom chord members were typically constructed with large, straight lumber members joined with either wood or metal bolted splice plates, located near mid-span, to achieve the required length. The top and bottom chord members were fastened together at the truss ends with U-shaped steel heels, or end shoes, bolted to both chord members."

The integrity/stability of the truss system is based upon all the components remaining intact and connected to transfer a load properly. The large, open spaces in the overhead in these buildings allow for smoke and heat from a fire to travel to that space, leaving things at floor level cool and relatively smoke-free. This gives firefighters entering the space the false impression that nothing major is going on when in reality, a serious problem is brewing in the roof truss space.

### Key Characteristics

Characteristics of fires in bowstring trusses include heavy smoke showing from the exterior, with perhaps only light smoke and heat on the interior. Aggressive firefighters working on the inside will report good progress and little fire, and will request that the fire be placed under control. The IC must have eyes on all sides of the building to 1) look for the signs of a bowstring truss roof and 2) correlate the reports being given from the interior. The large, open truss space provides a lot of room for heat and smoke to hide, and heavy smoke around the roof or even facades built later can obscure the true construction type. Important: Roof loading (firefighters, snow/ice, etc.) or roof-mounted equipment installed during the life of the building can add to the potential for an early collapse of the truss.

### Attacking the Fire

When working a fire that involves a building with a bowstring truss, there are many critical elements to consider:

- Be extremely cautious with your risk analysis; carefully weigh the risk vs. benefit of placing firefighters inside or on these structures.
- Keeping the trusses and truss space cool to prevent collapse should be a high priority. Knock interior fires quickly to prevent heat/fire spread to the overhead truss area, and consider aiming large-caliber streams (unstaffed if possible) into the overhead truss space, placing them around exit doors at end walls.
- Establish and enforce collapse zones on all sides of the building, but particularly at the walls on which the trusses are resting.
- If the decision is made to go defensive, make sure all personnel on the fireground are aware of this and stay clear of the interior.
- Use apparatus-mounted master streams, including aerial master streams from above. Better yet, bring them down to a lower level and direct them horizontally into windows or other building openings.
- If personnel are on aerial devices operating over the building, they should expect a roof collapse and sudden exposure to heat and/or flames venting from the collapse.

### It's Up to You

All firefighters must understand bowstring truss construction, what it looks like, and what its hazards are. You must also know the locations of all buildings with bowstring trusses in your coverage area, and you must communicate those locations to your firefighters, as well as your mutual-aid organizations.

Now that you're finished reading this, get out in your area and start identifying these buildings, collect information on each one, and start developing your action plan. Remember: It's up to you to ensure that incidents like the ones noted in this article don't happen again.

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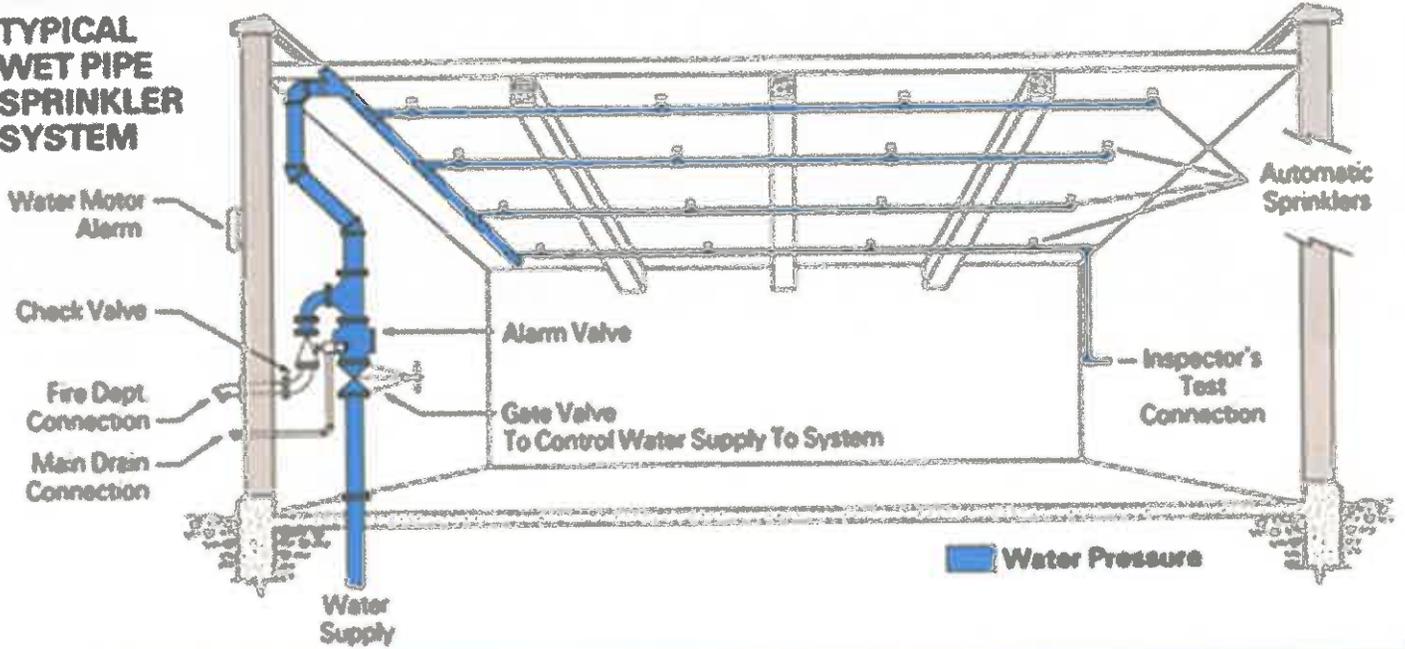
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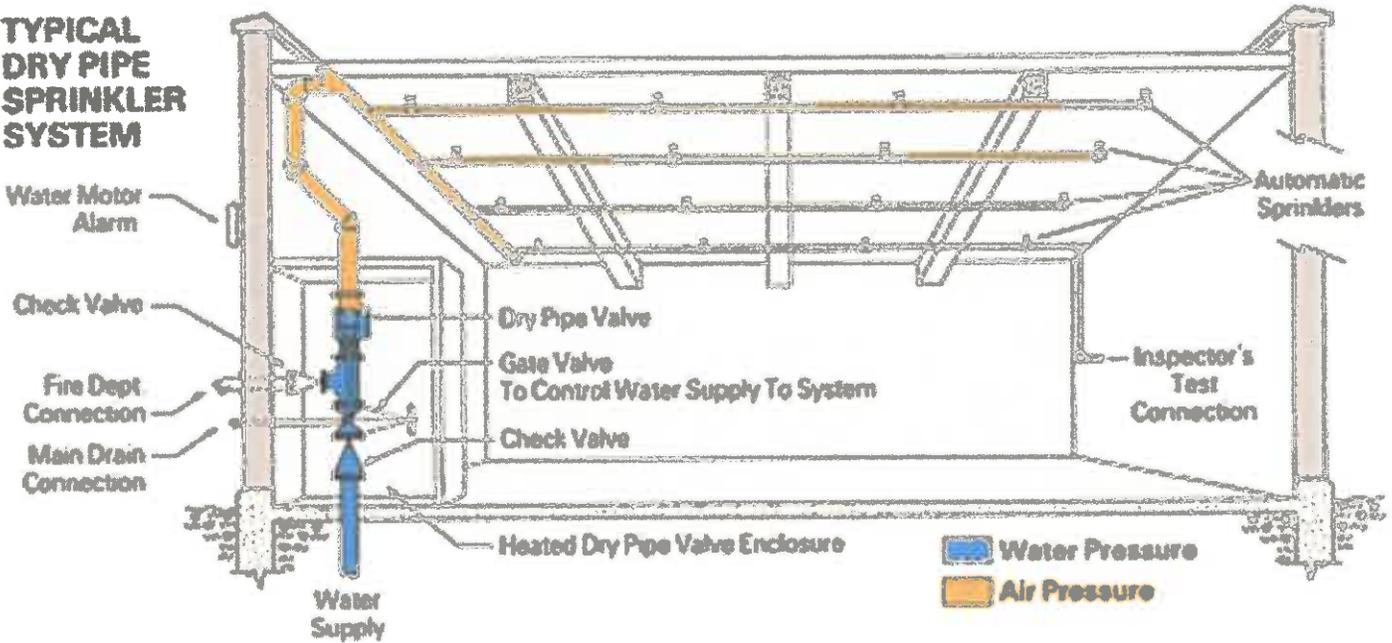
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### TYPICAL WET PIPE SPRINKLER SYSTEM



### TYPICAL DRY PIPE SPRINKLER SYSTEM



# Village Board Agenda Memo

**Date:** October 11, 2016

**To:** Village President & Board of Trustees

**From:** Emily Rodman, Assistant Village Manager 

Julia Cedillo, Village Manager 

**RE:** **Sisters of St. Joseph & Presence Health – AMENDMENT TO PLANNED UNIT DEVELOPMENT  
[#2016-04]**

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## **GENERAL BACKGROUND**

The Sisters of St. Joseph of La Grange (“Sisters”) built their existing facility at 1515 W. Ogden Avenue in in the late 1960’s. The property was originally constructed as a Planned Unit Development (PUD) and the underlying zoning is R-1A, single-family residential. The property was later divided (via a tax division through Cook County) into multiple parcels (called “tracts”) and the portion of the property on which Bethlehem Woods is located was sold to what is now Presence Health. The PUD was last amended in 2011 to remove certain property owned by the Sisters which is leased to Nazareth Academy. The property leased by Nazareth Academy, including the property on which the football, baseball and softball fields are located, is not part of the PUD.

## **DEVELOPMENT PROPOSAL**

Presence Health and the Sisters are the two entities which own property within the PUD boundaries. As a result, they are co-applicants to the requested amendment to the PUD. Additionally, because portions of the Sisters facilities are located on property owned by Presence, certain easements have been proposed to accommodate the existing and proposed improvements.

The proposed project includes the renovation of the “I” building, deconstruction of the “H” building with construction of a new building, a storm water management basin, additional landscaping, new sidewalks, drives and parking lots, and new site lighting and mechanicals. The existing wireless communication equipment located on top of the “H” building will be removed and relocated to a proposed cell tower outside of the PUD (proposed as part of a separate zoning application). Overall, the building square footage will decrease by 14,181 square feet; the total number of Sister living units will decrease by 6; the total number of guest rooms will decrease by 27; and the total ministry and administrative space will decrease by approximately 5,000 square feet.

The applicant is requesting three exceptions from the Planned Unit Development Standards of the Zoning Code, in accordance with Section 5.5 “Exceptions from District Regulations”. These include: 1) an exception from the maximum permitted height of light poles from 12’ to 20’, 2) an exception from the maximum permissible foot-candle power at residential property lines; and 3) an exception to allow a chiller to be installed in a side yard.

## **STAFF RECOMMENDATION**

Staff has been meeting with the Applicant and providing guidance and feedback on the proposed improvement project since January 2014. In summary, the proposed improvements will result in a decrease in density on the Sisters property and in the PUD overall. The number of available parking stalls will increase by three, while the overall demand for parking has already decreased and will decrease further with the proposed improvements. Some of the existing users of the facility have already moved out and other users will not be able to be accommodated with the new, smaller facility. As a result, traffic impacts will also decrease. Storm water management on the site will improve as a result of bringing the site into compliance with the MWRD and Village Storm Water Management Ordinance requirements. The overall site will be brought into compliance with the Village Code with regard to parking lot design and landscaping. The “I” building and newly constructed “H” building will be built to the 2015 Building Code and comply with all current life safety codes. Existing encroachments and access issues will be addressed through the establishment of easements that did not previously exist. Finally, the overall aesthetics of the site will be improved as a result of the proposed project.

## **MOTION/ACTION REQUESTED**

This item is being placed on the agenda for discussion only. If there is consensus by the Village Board, it will be placed on the October 24, 2016 Village Board Meeting agenda.

The Zoning Board of Appeals, by a vote of 6-0, recommended approval to the Village Board of Trustees of the Amended Plat of Planned Unit Development for Bethlehem Woods Retirement Living Center, including approval of three exceptions from the Zoning Code, as follows:

- a) From Section 12.3.C.2 to allow the installation of light poles up to 20' in height
- b) From Section 12.3.A.1 to allow the lighting level to exceed one half foot candle at residential property lines, in accordance with the submitted photometric plan
- c) From Section 12.4.H.1 to allow for the installation of a chiller in an interior side yard

***Motion to Approve an Ordinance Granting Amended Final Plat of Planned Unit Development for Bethlehem Woods Retirement Living Center at 1515 W. Ogden Avenue – Sisters of St. Joseph of La Grange and Presence Health – Public Hearing #2016-04***

## **DOCUMENTATION**

- Ordinance Approving an Amended Final Plat of Planned Unit Development for Bethlehem Woods Retirement Living Center
- Public Hearing Transcript – Hearing #2016-04
- Zoning Board of Appeals Agenda Memo – August 16, 2016 (previously provided in hard copy – will be pushed out electronically separately from agenda packet and posted on Village’s website separately)

**ORDINANCE NO. \_\_\_\_\_**

**ORDINANCE GRANTING AMENDED FINAL PLAT OF PLANNED UNIT DEVELOPMENT FOR BETHLEHEM WOODS RETIREMENT LIVING CENTER AT 1515 W. OGDEN AVENUE – SISTERS OF ST. JOSEPH OF LA GRANGE AND PRESENCE HEALTH  
(CASE) #2016-04**

**WHEREAS**, the Congregation of St. Joseph of La Grange (Applicant) on or about May 5, 2016, filed an application for an Amendment to a Plat of Planned Unit Development to deconstruct an existing six story building, construct a new two story building in its place and construct associated parking lot, sidewalk, landscaping, storm water, and lighting improvements on property located at 1515 W. Ogden Avenue, referred to as "Subject Property" legally described and attached hereto as Exhibit A; and

**WHEREAS**, a public hearing was held before the Zoning Board of Appeals of the Village of La Grange Park, Illinois, on August 16, 2016, pursuant to notice and publication as required by law; and

**WHEREAS**, the public hearing was opened at approximately 8:45 p.m. on August 16, 2016, and pursuant to a unanimous vote of the members of the Zoning Board of Appeals; on August 16, 2016 the public hearing was concluded; and

**WHEREAS**, with respect to the Application for an Amendment to a Plat of Planned Unit Development, based upon documentary evidence and testimony presented by the Applicant and members of the public, the Zoning Board of Appeals recommended the Village Board of Trustees grant approval of the amended Plat of Planned Unit Development, based upon certain Findings of Fact, adopted by the Zoning Board of Appeals on September 20, 2016 (true and correct copies of which Findings of Fact are attached to this Ordinance as Exhibit B and incorporated herein by reference as if fully set forth herein); and

**WHEREAS**, the President and Board of Trustees of the Village of La Grange Park have reviewed the Application, hearing transcripts and Findings of Fact, and have publicly discussed this issue at a regularly scheduled meeting on October 11, 2016, and based upon those materials, have concluded that it is in the best interests of the Village to grant the Application, including the three exceptions as set forth herein below.

**NOW, THEREFORE, BE IT ORDAINED** by the President and Board of Trustees of the Village of La Grange Park, Cook County, Illinois as follows:

**SECTION 1:** That the Application for an Amendment to a Final Plat of Unit Development for is granted for the Bethlehem Woods Retirement Living Center as shown on the attached Plat prepared by Gremley & Biederman, consisting of three (3) sheets, identified as Order No. 216-22643-001, dated August 22, 2016 and attached hereto as Exhibit C.

**SECTION 2:** That the following exceptions from the Village Code are hereby granted:

- a) From Section 12.3.C.2 to allow the installation of light poles up to 20' in height;
- b) From Section 12.3.A.1 to allow the lighting level to exceed one half foot candle at residential property lines, in accordance with the submitted photometric plan;
- c) From Section 12.4.H.1 to allow for the installation of a chiller in an interior side yard.

**SECTION 3:** That this Ordinance shall become effective and shall be in full force and effect from and after its passage subject to compliance with the conditions set forth herein.

**SECTION 4:** That this Ordinance shall be recorded against the property listed in Exhibit A and the terms and conditions of this Ordinance shall be deemed covenants running with the land.

ADOPTED BY THE PRESIDENT AND BOARD OF TRUSTEES of the Village of La Grange Park, Cook County, Illinois, this 25<sup>th</sup> day of October, 2016.

\_\_\_\_\_  
James L. Discipio, Village President  
Village of La Grange Park

ATTEST: \_\_\_\_\_  
Amanda G. Seidel, Village Clerk

Vote taken by the Board of Trustees on passage of the above ordinance:

AYES:

_____	_____
_____	_____
_____	_____

NOS:

_____	_____
_____	_____

CERTIFIED TO BE CORRECT:

\_\_\_\_\_  
Amanda G. Seidel  
Village Clerk

*Approved as to form by Village Attorney: 9/27/16*

**EXHIBIT A**  
**LEGAL DESCRIPTION**

Tract A – 15-32-400-012  
Tract C – 15-32-400-014  
Tract E – 15-32-400-016  
Tract D South part – 15-32-400-018  
Tract F – 15-32-400-017

TRACTS A, C, AND E IN BETHLEHEM WOODS RETIREMENT LIVING CENTER PLANNED UNIT DEVELOPMENT, BEING A SUBDIVISION OF LOT 2 IN SISTERS OF ST. JOSEPH OF LAGRANGE SUBDIVISION NO. 1, PART OF THE WEST ½ OF THE SOUTH EAST ¼ OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 18, 1989 AS DOCUMENT 89028253, IN COOK COUNTY, ILLINOIS;

ALSO THAT PART OF TRACT D IN BETHLEHEM RETIREMENT LIVING CENTER PLANNED UNIT DEVELOPMENT, BEING A SUBDIVISION OF LOT 2 IN SISTERS OF ST. JOSEPH OF LAGRANGE SUBDIVISION NO. 1, PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 18, 1989 AS DOCUMENT 89028253 DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEASTERLY CORNER OF SAID LOT 2; THENCE NORTH 9 DEGREES 05 MINUTES 25 SECONDS EAST, ALONG THE EASTERLY LINE OF SAID LOT 2, 339.43 FEET TO AN ANGLE IN THE EAST LINE OF SAID LOT 2; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS WEST, 291.97 FEET TO THE SOUTHEAST CORNER OF TRACT D AND THE POINT OF BEGINNING; THENCE NORTH 81 DEGREES 06 MINUTES 42 SECONDS WEST 322.49 FEET; THENCE NORTH 8 DEGREES 53 MINUTES 18 SECONDS EAST, 53.0 FEET; THENCE NORTH 41 DEGREES 06 MINUTES 42 SECONDS WEST, 64.75 FEET; THENCE SOUTH 81 DEGREES 06 MINUTES 42 SECONDS EAST, 357.29 FEET TO A POINT ON THE EASTERLY LINE OF SAID LOT 2; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 95.77 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

THAT PART OF LOT 2 IN THE SISTERS OF ST JOSEPH OF LAGRANGE SUBDIVISION NO. 1, BEING PART OF THE WEST ½ OF THE SOUTHEAST ¼ OF SECTION 32, TOWNSHIP 38 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEASTERLY CORNER OF SAID LOT 2, THENCE NORTH 09 DEGREES 05 MINUTES 25 SECONDS EAST ALONG THE EASTERLY LINE OF LOT 2, A DISTANCE OF 339.43 FEET TO AN ANGLEPOINT IN THE EAST LINE OF SAID LOT 2; THENCE DUE NORTH ALONG THE EAST LINE OF LOT 2, A DISTANCE OF 133.808 FEET, THENCE NORTH 81 DEGREES 6 MINUTES 42 SECONDS WEST A DISTANCE OF 169.93 FEET; THENCE NORTH 8 DEGREES 53 MINUTES 18 SECONDS EAST, A DISTANCE OF 5.00 FEET; THENCE NORTH 81 DEGREES 6 MINUTES 42 SECONDS WEST, A DISTANCE OF 57.50 FEET; THENCE SOUTH 8 DEGREES 53 MINUTES 18 SECONDS WEST A DISTANCE OF 5.00 FEET; THENCE NORTH 81 DEGREES 6 MINUTES 42 SECONDS WEST, A DISTANCE OF 72.00 FEET ; THENCE SOUTH 8 DEGREES 53 MINUTES 18 SECONDS WEST, A DISTANCE OF 48.00 FEET; THENCE NORTH 81 DEGREES 6 MINUTES 42 SECONDS WEST, A DISTANCE OF 68.53 FEET; THENCE SOUTH 8 DEGREES 53 MINUTES 18 SECONDS WEST, A DISTANCE OF 111.50 FEET; THENCE NORTH 81 DEGREES 6 MINUTES 42 SECONDS WEST, A DISTANCE OF 215.105 FEET; THENCE SOUTH 23 DEGREES 57 MINUTES 11 SECONDS WEST, A DISTANCE OF 212.902 FEET; THENCE SOUTHERLY ALONG A TANGENTIAL CURVE CONCAVE TO THE EAST, RADIUS 260.00 FEET, CENTRAL ANGLE OF 23 DEGREES 48 MINUTES 00 SECONDS A DISTANCE OF 108.00 FEET TO THE SOUTHWESTERLY CORNER OF LOT 2 OF AFORSAID; THENCE SOUTH 81 DEGREES 6 MINUTES 42 SECONDS EAST, ALONG THE SOUTHWESTERLY LINE OF LOT 2 A DISTANCE OF 663.59 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY ILLINOIS.

**EXHIBIT B**  
**FINDINGS OF FACT**

**FINDINGS OF FACT  
VILLAGE OF LA GRANGE PARK ZONING BOARD OF APPEALS  
AMENDMENT TO PLAT OF PLANNED UNIT DEVELOPMENT  
1515 W. OGDEN AVENUE  
CASE #2016-04**

**WHEREAS**, the Congregation of St. Joseph of La Grange (Applicant) on or about May 5, 2016, filed an application for an Amendment to a Plat of Planned Unit Development to deconstruct an existing six story building, construct a new two story building in its place and construct associated parking lot, sidewalk, landscaping, storm water, and lighting improvements on property located at 1515 W. Ogden Avenue, referred to as "Subject Property"; and

**WHEREAS**, a public hearing was held before the Zoning Board of Appeals of the Village of La Grange Park, Illinois, on August 16, 2016, pursuant to notice and publication as required by law; and

**WHEREAS**, the public hearing was opened at approximately 8:45 p.m. on August 16, 2016, and pursuant to a unanimous vote of the members of the Zoning Board of Appeals; on August 16, 2016 the public hearing was concluded; and

**WHEREAS**, with respect to the Application for an Amendment to a Plat of Planned Unit Development, based upon documentary evidence and testimony presented by the Applicant and members of the public, the Zoning Board of Appeals makes the following Summary of Facts, and pursuant to Section 4.4E of the La Grange Park Zoning Code, makes the following Findings of Fact:

**SUMMARY OF FACTS**

The Applicant built its existing facility at 1515 W. Ogden Avenue in in the late 1960's. The property was originally zoned single-family residential. The property was later developed as a part of the Bethlehem Woods Planned Unit Development (PUD) and divided (via a Cook County tax division) into multiple parcels (called "tracts"). The portion of the PUD on which Bethlehem Woods is located was sold to an entity which is now known as Presence Health. The PUD was last amended in 2011 to remove certain tracts owned by the Applicant and leased to Nazareth Academy.

The Applicant's complex currently consists of four structures that are interconnected. The Chapel is a single-story structure (21,254 SF) and is used by the Applicant and Nazareth Academy for religious services and school gatherings. No changes are proposed to the Chapel. The Welcome Hall (15,555 SF) is a single story building that connects the other three buildings. The use of the Welcome Hall includes meeting rooms, a kitchen, and a dining area. No changes are proposed to the Welcome Hall. The "I" building (40,336 SF) is a three story structure that includes living rooms for the sisters and guest rooms. The I building will be renovated as part of the proposed project. The "H" building (commonly referred to as the motherhouse) is a six story structure that is 61,323 square feet. The H building currently includes guest rooms, ministry and administrative offices and meeting rooms. This structure will be demolished and reconstructed as part of the proposed project.

Applicant's complex includes a total of 138,468 square feet, which is allocated as follows: 32 resident rooms, 48 guest rooms, approximately 30,000 square feet of ministry and administrative office space, a kitchen, dining area, chapel, storage and common spaces associated with all uses. The complex also includes a large parking lot south of the building, an inner courtyard, miscellaneous lighting and landscaping, sidewalks, and various access drives.

The proposed project includes the renovation of the "I" building, deconstruction of the "H" building, construction of a new building, a storm water management basin, additional landscaping, new sidewalks, drives and parking lots, and new site lighting and mechanicals. Overall, the building square footage will decrease by 14,181 square feet; the total number of residents' living units will decrease by 6; the total number of guest rooms will decrease by 27; and the total ministry and administrative space will decrease by approximately 5,000 square feet. The total amount of parking will increase by three stalls, while the demand for parking and total number of trips generated to and from the site will decrease. Storm water management will be improved through the construction of a new storm water management detention basin. Construction of the project will occur in four phases and is anticipated to last through 2018.

The Applicant is requesting three exceptions from the Zoning Code: (1) from Section 12.3.C.2 regarding light pole height; (2) from Section 12.3.A.1 regarding lighting levels at residential property lines; and (3) from Section 12.4.H.1 regarding the location of the proposed chiller. Regarding each exception, the Zoning Board of Appeals makes the following Findings of Fact:

#### **FINDINGS OF FACT**

- (1) The reconfiguration of the parking lot necessitates that new site lighting is provided to ensure adequate visibility for parking areas, drives and walkways. The Village Code restricts light poles in residential districts to a maximum of 12 feet in height. The proposed lighting is 20 feet in height and has been proposed in order to match the height and style of the existing light poles serving both the Sisters' complex and the Bethlehem Woods facility.
- (2) The proposed site lighting has been designed to provide adequate and safe lighting for parking areas, drives and walkways. The Village Code restricts lighting levels to one-half (0.5) foot candle at residential property lines. The proposed site lighting will provide light levels at several locations along the parcel lines with Bethlehem Woods that exceed the one half-foot candle lighting level, necessitating an "exception" from Section 12.3.A.1 of the Village Code. The Applicant's complex and Bethlehem Woods buildings and parking lots were developed as a PUD and therefore the site lighting plan is designed to provide safe lighting levels along the shared drives and adjacent parking areas. The existing parcel lines are located in close proximity to existing drives and walkways and in order to provide safe lighting, the lighting levels will exceed one half foot candle at some of these locations. Presence Health (the owner of Bethlehem Woods) has reviewed and approved the proposed site lighting plans. Lighting levels along the existing ring road will not change.
- (3) The Applicant's existing buildings currently share the HVAC mechanical equipment that is located in one of the Bethlehem Woods buildings. The proposed chiller would provide a separate HVAC system to serve Applicant's building, so that Applicant's facilities could become disconnected from

the Bethlehem Woods system. Section 12.4.H.1 of the Village Code requires that mechanical equipment be located in rear yards. Due to the existing building location and the parcel lines, the Applicant's property does not have a rear yard. Therefore, the proposed chiller is located in a side yard, west of the newly proposed west parking lot. The proposed location was selected to avoid existing utilities and easements and to allow for sufficient buffering and screening. The proposed chiller, which is 27' x 8', will be screened by a six foot tall solid wood fence enclosure (39' x 19'), eight to ten foot evergreen trees and a variety of other deciduous and evergreen shrubs. The proposed screening exceeds what is required by Village Code.

**Regarding the request for An Amendment to a Plat of Planned Unit Development outlined above, the Zoning Board of Appeals voted as follows:**

**AYES:** Bartholomai, Boyd, Domagalski, Lampert, Lee, Studwell

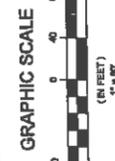
**NAYS:** None

**ABSENT:** Griffin

**VILLAGE OF LAGRANGE PARK  
ZONING BOARD OF APPEALS**

By: William W. [Signature] 9/20/16

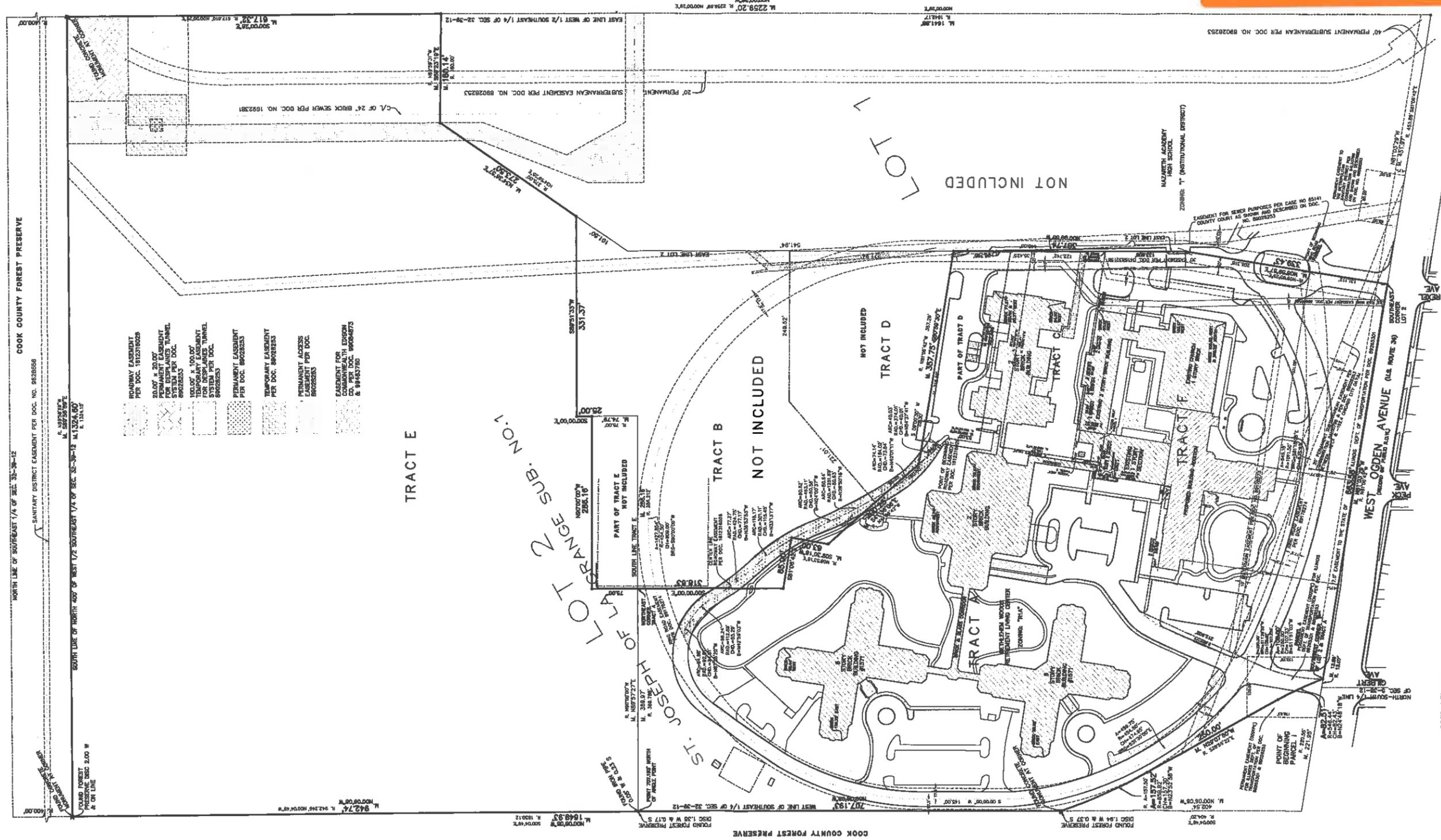
**EXHIBIT C**  
**FINAL PLAT OF PLANNED UNIT DEVELOPMENT FOR**  
**BETHLEHEM WOODS RETIREMENT LIVING CENTER**



# BETHLEHEM WOODS RETIREMENT LIVING CENTER PLAT OF PLANNED UNIT DEVELOPMENT

VILLAGE OF LA GRANGE PARK, COOK COUNTY, ILLINOIS

# DRAFT



PREPARED FOR:  
CONGREGATION OF ST. JOSEPH  
1515 W. OGDEN AVENUE  
LA GRANGE PARK, IL 60526

NOTES:  
BASIS OF BEARINGS IS BETHLEHEM WOODS RETIREMENT LIVING CENTER PLANNED UNIT DEVELOPMENT.  
MONUMENTATION OF ALL LOT CORNERS ESTABLISHED PRIOR TO PLAT RECORDATION ARE INDICATED HEREON BY SYMBOL OR NOTATION.  
IRON PIPE IS TO BE SET AT REMAINING LOT CORNERS AFTER PLAT RECORDATION UNLESS OTHERWISE INDICATED OR NOTED HEREON.  
NO DIMENSIONS SHALL BE ASSUMED BY SCALE MEASUREMENT UPON THIS PLAT.

ORDERED BY: CONGREGATION OF ST. JOSEPH ADDRESS: 1515 W. OGDEN AVE. LA GRANGE PARK, IL	CHECKED: [Signature]	DATE: AUGUST 22, 2016
PREPARED BY: GREMLEY & BIEDERMANN PLS. CORPORATION 4315 NORTH ELSTON AVENUE, CHICAGO, IL 60630 TELEPHONE: (773) 488-8100 FAX: (773) 288-4116 EMAIL: INFO@PLS-SURVEY.COM	SCALE: 1" = 40'	PLAT NO.: 2016-22643-001
ORDER NO. 160820160001-22643-001.dwg	DATE: AUGUST 22, 2016	PAGE NO. 1 OF 3

# BETHLEHEM WOODS RETIREMENT LIVING CENTER PLAT OF PLANNED UNIT DEVELOPMENT

VILLAGE OF LA GRANGE PARK, COOK COUNTY, ILLINOIS

## PARCEL 1:

TRACTS A, C, AND E IN BETHLEHEM WOODS RETIREMENT LIVING CENTER PLANNED UNIT DEVELOPMENT, BEING A SUBDIVISION OF LOT 2 IN SISTERS OF ST. JOSEPH OF LA GRANGE SUBDIVISION NO. 1, PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 18, 1989 AS DOCUMENT 89028253;

EXCEPTING THEREFROM THAT PART OF TRACT E IN BETHLEHEM RETIREMENT LIVING CENTER PLANNED UNIT DEVELOPMENT DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 2, BEING ALSO A POINT ON THE WEST LINE OF SAID LOT 2 WHICH IS 707.198 FEET NORTH OF THE ANGLE POINT IN THE WEST LINE OF SAID LOT 2; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE SOUTH LINE OF TRACT E 369.788 FEET TO THE NORTHEAST CORNER OF TRACT A AFORESAID AND THE POINT OF BEGINNING;  
THENCE CONTINUING NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE SOUTH LINE OF TRACT E 282.212 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 75.00 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 286.16 FEET TO THE NORTHERLY EXTENSION OF THE EASTERLY LINE OF TRACT A AFORESAID; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST ALONG SAID NORTHERLY EXTENSION TO THE POINT OF BEGINNING;

ALSO THAT PART OF TRACT D IN BETHLEHEM RETIREMENT LIVING CENTER PLANNED UNIT DEVELOPMENT DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 2; THENCE NORTH 9 DEGREES 05 MINUTES 25 SECONDS EAST, ALONG THE EASTERLY LINE OF SAID LOT 2, A DISTANCE OF 339.43 FEET TO AN ANGLE IN THE EAST LINE OF SAID LOT 2; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS WEST, 291.97 FEET TO THE SOUTHEAST CORNER OF TRACT D AND THE POINT OF BEGINNING; THENCE NORTH 81 DEGREES 06 MINUTES 42 SECONDS WEST 322.49 FEET; THENCE NORTH 8 DEGREES 06 MINUTES 42 SECONDS WEST, 64.75 FEET; THENCE SOUTH 81 DEGREES 06 MINUTES 42 SECONDS EAST, 357.29 FEET TO A POINT ON THE EASTERLY LINE OF SAID LOT 2; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 95.765 FEET TO THE POINT OF BEGINNING.

IN COOK COUNTY, ILLINOIS.

CONTAINING, IN THE AGGREGATE, 1,901,546 SQUARE FEET (43.653 ACRES) OF LAND, MORE OR LESS.

## PARCEL 2:

EASEMENT FOR THE BENEFIT OF PARCEL 1 AFORESAID, AS CREATED BY GRANT OF EASEMENT FOR RING ROAD DATED APRIL 19, 1989 AND RECORDED APRIL 21, 1989 AS DOCUMENT 89178274 MADE BY SISTERS OF ST. JOSEPH OF LAGRANGE, A CORPORATION OF ILLINOIS, TO CATHOLIC CHARITIES HOUSING DEVELOPMENT CORPORATION, A NOT-FOR-PROFIT CORPORATION OF ILLINOIS, TO CONSTRUCT, OPERATE, USE MAINTAIN, REPAIR AND RENEW OVER, UPON, AND UNDER THE FOLLOWING DESCRIBED PARCEL OF LAND, TO WIT:

THAT PART OF LOT 2 AND OF THE WEST 17.50 FEET OF LOT 1 IN SISTERS OF ST. JOSEPH OF LAGRANGE SUBDIVISION NO. 1, BEING PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, BEING A STRIP OF LAND 35.00 FEET IN WIDTH, 17.50 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTER LINE: COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 2, THENCE NORTH 09 DEGREES 05 MINUTES 25 SECONDS EAST, ALONG THE EASTERLY LINE OF LOT 2, A DISTANCE OF 131.112 FEET FOR A POINT OF BEGINNING OF THE CENTER LINE TO BE DESCRIBED HEREIN; THENCE CONTINUING NORTH 09 DEGREES 05 MINUTES 25 SECONDS EAST ALONG SAID EASTERLY LINE, A DISTANCE OF 208.318 FEET TO AN ANGLE POINT IN THE EAST LINE OF SAID LOT 2; THENCE DUE NORTH ALONG THE EAST LINE OF SAID LOT 2, A DISTANCE OF 440.33 FEET TO A POINT OF CURVE; THENCE NORTHWESTERLY AND SOUTHWESTERLY ALONG TANGENTIAL CURVE CONCAVE TO THE SOUTH WITH A RADIUS OF 454.50 FEET AND A CENTRAL ANGLE OF 180 DEGREES 00 MINUTES 00 SECONDS, A DISTANCE OF 1427.854 FEET TO A POINT OF TANGENCY; THENCE DUE SOUTH ALONG A STRAIGHT LINE, A DISTANCE OF 145.00 FEET TO A POINT OF CURVE; THENCE SOUTHEASTERLY ALONG A TANGENTIAL CURVE, CONCAVE TO THE NORTHEAST WITH A RADIUS OF 454.50 FEET AND A CENTRAL ANGLE OF 63 DEGREES 00 MINUTES 00 SECONDS, A DISTANCE OF 499.748 FEET TO A POINT OF COMPOUND CURVATURE; THENCE ALONG A 1011.50 FOOT RADIUS CURVE, CENTRAL ANGLE OF 36 DEGREES 36 MINUTES 06 SECONDS, A DISTANCE OF 646.166 FEET TO THE POINT OF BEGINNING, (EXCEPTING THEREFROM ALL THAT PART THEREOF FALLING IN PARCEL 1 AFORESAID), IN COOK COUNTY, ILLINOIS.

## PARCEL 3:

EASEMENT FOR THE BENEFIT OF PARCEL 1 AFORESAID, AS CREATED BY GRANT OF EASEMENT FOR WATER MAIN DATED APRIL 19, 1989 AND RECORDED APRIL 21, 1989 AS DOCUMENT 89178273 MADE BY SISTERS OF ST. JOSEPH OF LAGRANGE A CORPORATION OF ILLINOIS, TO CATHOLIC CHARITIES HOUSING DEVELOPMENT CORPORATION, A NOT FOR PROFIT CORPORATION OF ILLINOIS, FOR THE PURPOSE OF CONSTRUCTING, USING AND MAINTAINING A PRIVATE 10 INCH WATER MAIN AND APPURTENANT WORKS, INCLUDING THE RIGHT TO CLEAN, REPAIR AND CARE FOR SAID WATER MAIN AND WORKS, ACCESS OVER THE LAND OF GRANTOR FROM OGDEN AVENUE OVER THE PRIVATE ROADWAYS LOCATED ON THE LAND OVER, UNDER AND THROUGH A 10 FOOT WIDE STRIP OF LAND BEING 5 FEET ON EITHER SIDE OF THE 10 INCH WATER MAIN LINES AS SHOWN ON EXHIBIT "B" ATTACHED THEREON AND BEING A PART OF THE FOLLOWING DESCRIBED PARCEL OF LAND, TO WIT:

LOT 1 IN SISTERS OF ST. JOSEPH OF LA GRANGE SUBDIVISION NO. 1, PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 23, 1987 AS DOCUMENT 87520816 AND PRERECORDED JUNE 20, 1988 AS DOCUMENT 88268504, IN COOK COUNTY, ILLINOIS;  
AND

TRACT F IN BETHLEHEM WOODS RETIREMENT LIVING CENTER PLANNED UNIT DEVELOPMENT, BEING A SUBDIVISION OF LOT 2 IN SISTERS OF ST. JOSEPH OF LA GRANGE SUBDIVISION NO. 1, PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 18, 1989 AS DOCUMENT 89028253, IN COOK COUNTY, ILLINOIS.

## PARCEL 4:

A NON-EXCLUSIVE EASEMENT AS CREATED BY AGREEMENT DATED SEPTEMBER 1, 1988 AND RECORDED JUNE 12, 1989 AS DOCUMENT 89263801 FROM SISTERS OF ST. JOSEPH OF LAGRANGE TO THE STATE OF ILLINOIS, FOR THE USE OF THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION OVER THE FOLLOWING DESCRIBED LAND:

THAT PART OF LOT 2 OF SISTERS OF ST. JOSEPH OF LAGRANGE SUBDIVISION NO. 1 OF PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE NORTHERLY LINE OF OGDEN AVENUE (66 FEET IN WIDTH) AND THE EXTENSION NORTH OF THE NORTH-SOUTH QUARTER LINE OF SECTION 5, TOWNSHIP 38 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, SAID QUARTER LINE BEING ALSO THE CENTER LINE OF GILBERT AVENUE AS LAID OUT IN PECK TERRACE; THENCE SOUTH 83 DEGREES, 22 MINUTES, 23 SECONDS EAST ALONG THE NORTHERLY LINE OF OGDEN AVENUE A DISTANCE OF 13.07 FEET TO THE SOUTHWESTERLY CORNER OF LOT 2, AFORESAID, AND THE POINT OF BEGINNING OF THE TRACT TO BE DESCRIBED HEREIN, CONTINUING THENCE SOUTH 83 DEGREES, 22 MINUTES, 23 SECONDS EAST ALONG THE NORTHERLY LINE OF OGDEN AVENUE, 37.52 FEET TO AN INTERSECTION WITH A LINE WHICH IS 50.00 FEET EAST OF AND PARALLEL TO THE CENTER LINE OF GILBERT AVENUE AS EXTENDED; THENCE NORTH 02 DEGREES 11 MINUTES, 22 SECONDS WEST ALONG SAID PARALLEL LINE, A DISTANCE OF 132.26 FEET; THENCE SOUTH 87 DEGREES 48 MINUTES 38 SECONDS WEST A DISTANCE OF 106.00 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID LOT 2; THENCE SOUTH 31 DEGREES 09 MINUTES 08 SECONDS EAST ALONG THE SOUTHWESTERLY LINE OF SAID LOT 2, A DISTANCE OF 58.97 FEET TO A POINT OF CURVE; THENCE SOUTHEASTERLY ALONG A TANGENTIAL CURVE CONCAVE TO THE THE SOUTHWEST, RADIUS 546.44 FEET, CENTRAL ANGLE 8 DEGREES 39 MINUTES 06 SECONDS, 82.51 FEET TO THE SOUTHWESTERLY CORNER OF LOT 2 AND THE POINT OF BEGINNING, (EXCEPTING THEREFROM ALL THAT PART THEREOF FALLING IN PARCEL 1 AFORESAID).

SURVEYOR'S CERTIFICATE  
STATE OF ILLINOIS  
COUNTY OF COOK

I, BRIAN S. STOUT, A PROFESSIONAL ILLINOIS LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND SUBDIVIDED THE PROPERTY DESCRIBED HEREON AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION.

I FURTHER CERTIFY THAT THE PROPERTY DESCRIBED HEREON IS LOCATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF LA GRANGE PARK, COOK COUNTY, ILLINOIS, WHICH HAS ADOPTED A VILLAGE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE MUNICIPAL CODE OF THE ILLINOIS STATE STATUTES.

I FURTHER CERTIFY THAT PORTIONS OF THE PROPERTY APPEAR IN ZONE AH, FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY AREAS OF PONDING); BASE FLOOD ELEVATIONS DETERMINED, ON THE FLOOD INSURANCE RATE MAP, COOK COUNTY, ILLINOIS UNINCORPORATED AND INCORPORATED AREAS, COMMUNITY PANEL NO. 17091C0459, EFFECTIVE DATE OF AUGUST 19, 2008.

DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECTED TO A TEMPERATURE OF 62° FAHRENHEIT.

FIELD MEASUREMENTS COMPLETED ON JULY 13, 2016.

SIGNED ON \_\_\_\_\_

BY: \_\_\_\_\_

PROFESSIONAL ILLINOIS LAND SURVEYOR NO. 3584  
MY LICENSE EXPIRES NOVEMBER 30, 2016  
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

BOARD OF TRUSTEES CERTIFICATE  
STATE OF ILLINOIS )  
COUNTY OF COOK ) S.S.

APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ BY THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LA GRANGE PARK, ILLINOIS.

BY: \_\_\_\_\_  
VILLAGE PRESIDENT

ATTEST: \_\_\_\_\_  
VILLAGE CLERK

COUNTY CLERK CERTIFICATE  
STATE OF ILLINOIS )  
COUNTY OF COOK ) S.S.

I, \_\_\_\_\_ COUNTY CLERK OF COOK COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT I FIND NO DELINQUENT TAXES, OR UNPAID CURRENT TAXES AGAINST THE PROPERTY DESCRIBED IN THE PLAT TO WHICH THIS CERTIFICATE IS ATTACHED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
COUNTY CLERK OF COOK COUNTY

VILLAGE ENGINEER CERTIFICATE  
STATE OF ILLINOIS )  
COUNTY OF COOK ) S.S.

I, \_\_\_\_\_ ENGINEER OF THE VILLAGE OF LA GRANGE PARK, ILLINOIS, DO HEREBY CERTIFY THAT I HAVE REVIEWED ANNEXED PLAT AND THE PLANS AND SPECIFICATIONS THEREOF MEET THE MINIMUM FULLY THE PLAT SHOWN HEREON.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
VILLAGE ENGINEER

VILLAGE COLLECTOR CERTIFICATE  
STATE OF ILLINOIS )  
COUNTY OF COOK ) S.S.

I, VILLAGE COLLECTOR HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OFFICIAL ASSESSMENTS, OR UNPAID CURRENT SPECIAL ASSESSMENTS ON THE ABOVE DESCRIBED PROPERTY.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
VILLAGE COLLECTOR

NOTE:  
SISTERS OF ST. JOSEPH OF LA GRANGE SUBDIVISION NO. 1 WAS RECORDED AS SEPTEMBER 23, 1987 AS DOCUMENT NO. 87520816 AND RE-RECORDED JUNE 20, 1988 AS DOCUMENT NO. 88268504, IN COOK COUNTY, ILLINOIS.

SIDEWALK EASEMENT FROM PRESENCE HEALTH TO OSJ

THAT PART OF TRACT A IN BETHLEHEM WOODS RETIREMENT LIVING CENTER PLANNED UNIT DEVELOPMENT, BEING A SUBDIVISION OF LOT 2 IN THE SISTERS OF ST. JOSEPH OF LAGRANGE SUBDIVISION NO. 1, BEING PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 18, 1989 AS DOCUMENT 89028253, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHWESTERLY CORNER OF SAID LOT 2 AND SAID TRACT A; THENCE 106.00 FEET ALONG THE EASTERLY LINE OF TRACT A, BEING ALSO THE ARC OF A CIRCLE HAVING A RADIUS OF 290.00 FEET CONCAVE SOUTHEASTERLY AND WHOSE CHORD BEARS NORTH 11°51'03" EAST, A DISTANCE OF 107.29 FEET; THENCE CONTINUING ALONG SAID EASTERLY LINE OF TRACT A NORTH 23°45'05" EAST, 212.902 FEET; THENCE SOUTH 80°58'44" EAST 57.74 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00°01'16" EAST 24.15 FEET; THENCE SOUTH 80°58'44" EAST 125.50 FEET; THENCE NORTH 00°01'16" EAST 102.80 FEET; THENCE SOUTH 80°58'44" EAST 38.00 FEET; THENCE SOUTH 00°01'16" WEST 8.80 FEET; THENCE NORTH 80°58'44" WEST 11.00 FEET; THENCE SOUTH 00°01'16" WEST 38.55 FEET; THENCE NORTH 80°58'44" EAST 4.87 FEET; THENCE SOUTH 00°01'16" WEST 79.60 FEET; THENCE NORTH 80°58'44" WEST 167.37 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

CONTAINING 8,831 SQUARE FEET OR 0.1691 ACRES, MORE OR LESS.

## SideWalk Easement Provisions

Grantee hereby grants to Grantor for the use for purposes set forth herein by Grantor and Grantor's employees, agents and invitees, the full, permanent, exclusive, undisturbed, and irrevocable right-of-way and easement over, under, across and through, a permanent sidewalk across easement on a certain strip of Grantor's Property for Grantor, as applicable, acquisition, repair and maintenance and use of sidewalk to be constructed by Grantor across for access to and from Grantor's building located on Grantor's Property adjacent to the Sidewalk Easement Area (as defined below), including, without limitation, the construction, repair, maintenance and/or replacement of such sidewalk as described and plotted herein, as "Sidewalk Easement Area" from Presence Health to OSJ.

"ACCESS AREA" PARCELS 1 AND 2, AND "ENCROACHMENT EASEMENT" PARCEL 3  
SHOWN HEREON PER PARTY WALL AND EASEMENT AGREEMENT DATED AUGUST 28,  
2002 AND RECORDED \_\_\_\_\_, 2018 AS DOCUMENT NO. \_\_\_\_\_

OWNER'S CERTIFICATE AS TO TRACT F  
STATE OF ILLINOIS )  
COUNTY OF \_\_\_\_\_ ) S.S.

CONGREGATION OF ST. JOSEPH OF LAGRANGE, AN ILLINOIS NOT-FOR-PROFIT CORPORATION HEREBY CERTIFIES THAT IT IS THE OWNER OF A PORTION OF THE PROPERTY HEREON FOR THE USES AND PURPOSES THEREIN SET FORTH, AND ADOPT THE SAME UNDER THE STYLE AND TITLE HEREON INDICATED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

BY: \_\_\_\_\_ (NAME) ATTEST: \_\_\_\_\_ (NAME)

\_\_\_\_\_  
(TITLE) (TITLE)

STATE OF ILLINOIS )  
COUNTY OF \_\_\_\_\_ ) S.S.

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR SAID COUNTY DO HEREBY CERTIFY THAT \_\_\_\_\_ (NAME) AS \_\_\_\_\_ (TITLE) AND \_\_\_\_\_ (NAME) AS \_\_\_\_\_ (TITLE) OF CONGREGATION OF ST. JOSEPH OF LAGRANGE AN ILLINOIS CORPORATION, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/HEY SIGNED AND DELIVERED THE SAID INSTRUMENT AT HIS/HER/THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH, GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
NOTARY PUBLIC

COMMISSION EXPIRES \_\_\_\_\_

OWNER'S CERTIFICATE AS TO TRACT A AND TRACT C  
STATE OF ILLINOIS )  
COUNTY OF \_\_\_\_\_ ) S.S.

PRESENCE RHC CORPORATION, AN ILLINOIS NOT-FOR-PROFIT CORPORATION HEREBY CERTIFIES THAT IT IS THE OWNER OF A PORTION OF THE PROPERTY HEREON FOR THE USES AND PURPOSES THEREIN SET FORTH, AND ADOPT THE SAME UNDER THE STYLE AND TITLE HEREON INDICATED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

BY: \_\_\_\_\_ (NAME) ATTEST: \_\_\_\_\_ (NAME)

\_\_\_\_\_  
(TITLE) (TITLE)

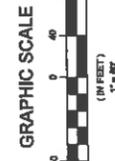
STATE OF ILLINOIS )  
COUNTY OF \_\_\_\_\_ ) S.S.

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR SAID COUNTY DO HEREBY CERTIFY THAT \_\_\_\_\_ (NAME) AS \_\_\_\_\_ (TITLE) OF CONGREGATION OF ST. JOSEPH OF LAGRANGE AN ILLINOIS CORPORATION, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/HEY SIGNED AND DELIVERED THE SAID INSTRUMENT AT HIS/HER/THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH, GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
NOTARY PUBLIC

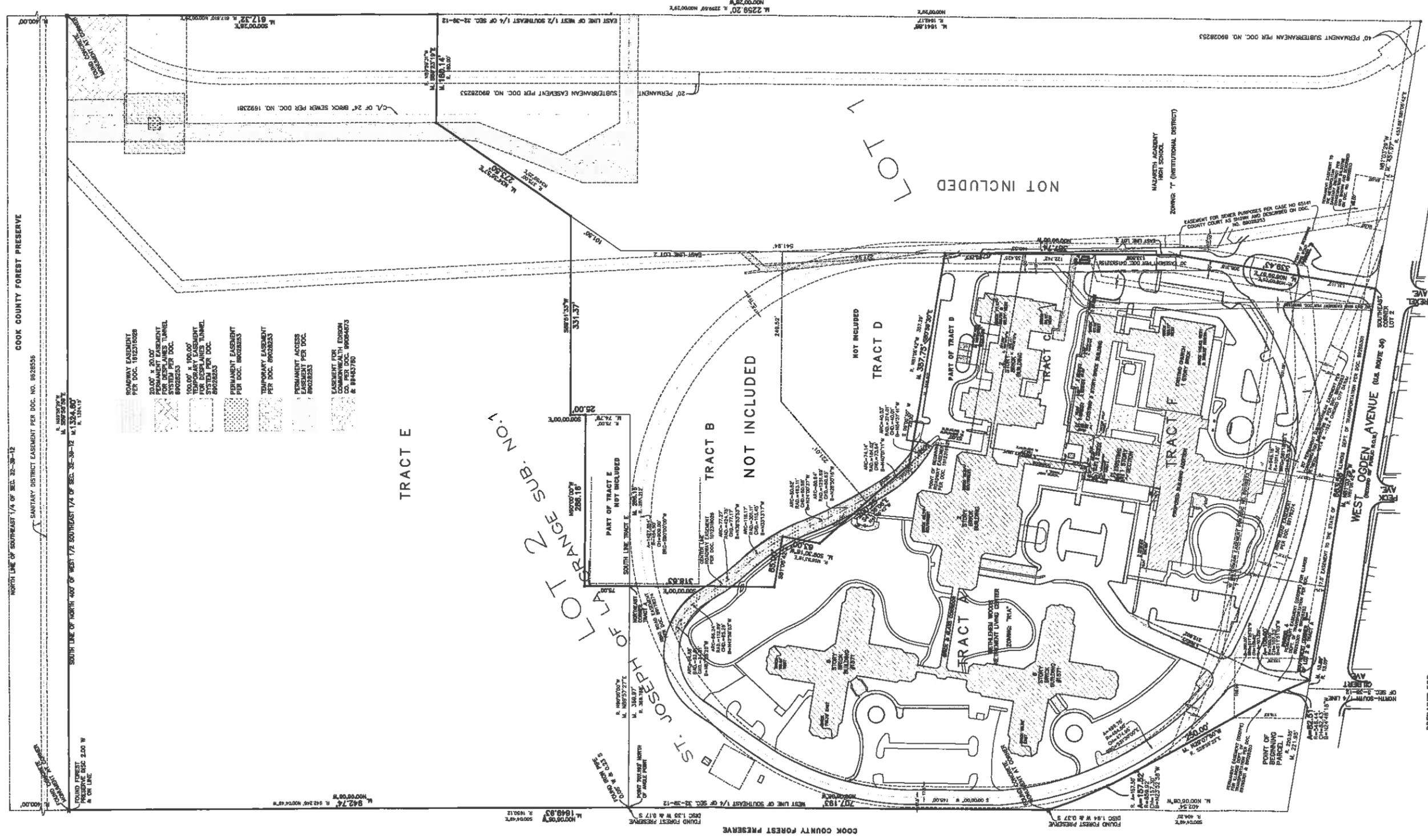
COMMISSION EXPIRES \_\_\_\_\_

ORDERED BY: CONGREGATION OF ST. JOSEPH	CHECKED: _____	DRAWN: _____
ADDRESS: 1419 W. OGDEN AVE., LA GRANGE PARK, IL	DATE: _____	BY: _____
GREMLEY & BIEDERMANN PLCS, CORPORATION LORAIN BL. 884-80352 EXPRES 4-30-2017 PROFESSIONAL LAND SURVEYOR 4585 NORTH ELSTON AVENUE, CHICAGO, IL 60630 TELEPHONE: (773) 648-5182 FAX: (773) 236-4164 EMAIL: INFO@PLCS-SURVEY.COM		
ORDER NO. 2016-22643-001	DATE: AUGUST 22, 2016	PAGE NO. 3 OF 3
DATE: 2016/08/22 16:2016-22643-001-001.dwg		



# BETHLEHEM WOODS RETIREMENT LIVING CENTER PLAT OF PLANNED UNIT DEVELOPMENT

VILLAGE OF LA GRANGE PARK, COOK COUNTY, ILLINOIS



- ROADWAY EASEMENT PER DOC. 192316026
- 20' PERMANENT EASEMENT FOR DISPLAY TUNNEL SYSTEM PER DOC. 89028243
- 100' PERMANENT EASEMENT FOR DISPLAY TUNNEL SYSTEM PER DOC. 89028243
- PERMANENT EASEMENT PER DOC. 89028243
- TEMPORARY EASEMENT PER DOC. 89028243
- PERMANENT ACCESS EASEMENT PER DOC. 89028243
- EASEMENT FOR COMMONWEALTH EDITION CO. PER DOC. 89064673 & 89460780

OWNED BY: CONGREGATION OF ST. JOSEPH  
 ADDRESS: 1515 W. OGDEN AVE., LA GRANGE PARK, IL  
 PREPARED BY: GREMLY & BIEDERMANN  
 DATE: AUGUST 22, 2016  
 SHEET NO. 1 OF 3

PREPARED FOR:  
 CONGREGATION OF ST. JOSEPH  
 1515 W. OGDEN AVENUE  
 LA GRANGE PARK, IL 60526

NOTES:  
 BASIS OF BEARINGS IS BETHLEHEM WOODS RETIREMENT LIVING CENTER PLANNED UNIT DEVELOPMENT.  
 MONUMENTATION OF ALL LOT CORNERS ESTABLISHED PRIOR TO PLAT RECORDATION ARE INDICATED HEREON BY SYMBOL OR NOTATION.  
 IRON PIPE IS TO BE SET AT REMAINING LOT CORNERS AFTER PLAT RECORDATION UNLESS OTHERWISE INDICATED OR NOTED HEREON.  
 NO DIMENSIONS SHALL BE ASSUMED BY SCALE MEASUREMENT UPON THIS PLAT.



BEFORE THE VILLAGE OF LAGRANGE PARK  
ZONING BOARD OF APPEALS

IN RE THE MATTER OF: )  
 ) Petition  
Application for an Amendment to ) #2016-04  
a Planned Unit Development on )  
Property Located at 1515 West )  
Ogden Avenue )

ZONING BOARD OF APPEALS PUBLIC HEARING  
August 16, 2016  
7:05 o'clock P.M.

PROCEEDINGS HAD and testimony taken before  
the VILLAGE OF LA GRANGE PARK ZONING BOARD OF  
APPEALS, taken at the LaGrange Park Village Hall,  
447 North Catherine, LaGrange Park, Illinois,  
before Marlane K. Marshall, C.S.R., License  
#084-001134, a Notary Public qualified and  
commissioned for the State of Illinois.

1 BOARD MEMBERS PRESENT:

- 2 MR. ERIC BOYD, Chairman  
3 MS. CAROLINE DOMAGALSKI, Member  
4 MR. JIM LEE, Member  
5 MR. WILLIAM LAMPERT, Member  
6 MR. CHRISTOPHER STUDWELL, Member  
7 MR. ROBERT BARTHOLOMI, Member

8  
9

ALSO PRESENT:

10  
11  
12  
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19  
20  
21  
22  
23  
24

MS. JULIA A. CEDILLO, Village Manager

MS. EMILY RODMAN, Assistant Village  
Manager

MS. AMANDA G. SEIDEL, Village Clerk

MS. CATHLEEN M. KEATING, Village  
Attorney

CHIEF DEAN J. MAGGOS, Director of Fire,  
Building and Emergency Management

MR. PAUL E. FLOOD, Hancock Engineering

1 PRESENT FOR THE PETITIONER:

2 DEL GALDO LAW GROUP, LLC, by  
3 MR. JAMES M. VASSELLI  
4 1441 South Harlem Avenue  
5 Berwyn, Illinois 60402

6 SR. PAT BERGEN

7 MR. MARK S. BOEHLKE, Hoffman Planning,  
8 Design & Construction, Inc.

9 MR. DAVID R. McCALLUM, David R. McCallum  
10 Associates, Inc.

11 MR. RYAN FEENEY, Eriksson Engineering

12 MR. ROBERT TAYLOR, Hoffman Planning,  
13 Design & Construction, Inc.

14  
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1 CHAIRMAN BOYD: Next we have a public hearing  
2 to consider an application for an amendment to a  
3 planned unit development on property located at 1515  
4 West Ogden Avenue, LaGrange Park, Illinois. I will  
5 now convene the public hearing for that matter and  
6 first read the public notice into the record.

7 "Notice is hereby given  
8 that on August 16th, 2016 a  
9 public hearing will be held  
10 before the Zoning Board of  
11 Appeals of LaGrange Park,  
12 Illinois in the village hall  
13 at 447 North Catherine Avenue  
14 at 7:00 p.m. or soon thereafter  
15 for the purpose of considering  
16 an application for an amendment  
17 to a planned unit development on  
18 property zoned as R-1A, Single-  
19 Family Residential District,  
20 located at 1515 West Ogden  
21 Avenue, LaGrange Park, Illinois."

22 This includes several parcels which I will skip.

23 "The petitioner is requesting  
24 to amend the existing planned

1 unit development to facilitate  
2 the demolition of a six-story  
3 structure and the construction  
4 of a two-story structure along  
5 with associated parking lot,  
6 lighting, landscaping and  
7 stormwater management improve-  
8 ments.

9 The application for a  
10 planned unit development and  
11 description of proposed use  
12 are available for examination  
13 during normal office hours at  
14 the LaGrange Park Village Hall,  
15 447 North Catherine Avenue,  
16 LaGrange Park, Illinois.

17 All interested persons are  
18 invited and welcome to attend the  
19 hearing. All persons interested  
20 in providing testimony at the  
21 hearing are invited to do so."

22 Let me first explain sort of the process  
23 today. So the court reporter is taking everything  
24 down now for this particular public hearing. We are

1 going to first swear in everyone who wants to provide  
2 testimony at any point in time. Don't worry, if you  
3 decide later to provide testimony we'll just swear  
4 you in again if you haven't been sworn in at the  
5 beginning with everybody else. After that we'll ask  
6 the petitioner to present their case and any testi-  
7 mony they want to present. After that we'll ask the  
8 members of the audience to give testimony and to ask  
9 questions either of the applicant or of the staff or  
10 of the board. After that the Board of Appeals will  
11 ask questions of either staff or the applicant for  
12 clarification, and we'll probably ask if anybody  
13 else has any comments that they would like to have  
14 included in the record. After all that's done and  
15 we're all satisfied that the record is complete we  
16 will close the hearing and then the Board of Zoning  
17 Appeals members will have a discussion. After that  
18 if we are moving along as I suspect we might be  
19 we'll ask for a motion one way or the other and  
20 we'll move on from there. So that's the general  
21 proceedings.

22           With that I would like everyone who plans  
23 to present testimony for this hearing only -- I do  
24 the same thing for the next hearing and you might

1 want to do both -- to stand up if you want to present  
2 testimony in this hearing. Please stand up now and  
3 the court reporter will swear you in.

4 (Whereupon the witnesses were duly  
5 sworn by the Notary.)

6 CHAIRMAN BOYD: Let's begin with the petitioner  
7 discussing what they're seeking -- what relief  
8 they're seeking from the Zoning Board and want us to  
9 grant. Again there's two hearings tonight. This is  
10 dealing with the changes to the planned unit develop-  
11 ment only, not the village communications tower  
12 variance later on. So right now let's speak to the  
13 planned unit development changes on the table. So  
14 who is first?

15 SR. BERGEN: That would be me.

16 CHAIRMAN BOYD: State your name for the record  
17 and where you live.

18  
19 S R. P A T B E R G E N,  
20 having been first duly sworn, testified as follows:

21 I am St. Pat Bergen and I live at 1515  
22 West Ogden in LaGrange Park, Illinois. And I am  
23 here with some of my sisters. They can raise their  
24 hands over there.

1 I would just like to introduce us to some  
2 of the neighbors who might not know who we are. In  
3 1899 we came to LaGrange invited by the people of  
4 St. Francis Xavier Parish. In 1890 we built Nazareth  
5 Academy at the corner of Park and Ogden which is now  
6 Park Junior High and in 1926 we moved to the property  
7 that is known as 1515 West Ogden. At that time we  
8 built two schools and a motherhouse. And in the  
9 mid-'70s District 102 came to us and asked us if we  
10 would sell the building that was Nazareth to become  
11 Park Junior High. So we moved Nazareth down to our  
12 present property there at 1209 West Ogden. We have  
13 been there all this time. And in the mid-'60s we  
14 built -- yes, we did build; in a minute you will see  
15 the building -- we built this building, a six-story  
16 building because at that moment in history there  
17 was I want to say a bump in the number of sisters,  
18 in the number of women that were becoming sisters.  
19 It was a one-time experience in the history of the  
20 Catholic Church. And so we had this six-story  
21 building and in recent years we became well aware  
22 that we were overbuilt.

23 And so about four years ago we started a  
24 process of discernment with our sisters about our

1 buildings and about our numbers. And the sisters  
2 really came to a radical decision that they really  
3 wanted to stay in this area. We love our ministry  
4 here and we want to be able to stay. And so we  
5 began meeting with the sisters and with Presence  
6 Health who shares our PUD as well as Nazareth  
7 Academy to whom we rent some of our land to help us  
8 discern exactly what we could do about this problem  
9 of being overbuilt for our size.

10           And so at that time we decided that the  
11 best thing we could do would be to deconstruct this  
12 six-story building. And we engaged Hoffman designers  
13 and architects and came up with a plan for the  
14 building that we are proposing, this two-story  
15 assisted care 26-unit building that would replace  
16 the six-story building on Ogden Avenue. We're pretty  
17 proud of this design and we believe it will be  
18 constructed according to LEED goals equivalents.  
19 LEED means Leading in Energy and Environment Design.  
20 So it's a green design that will definitely reduce  
21 the carbon footprint. And I believe it will be the  
22 first LEED building in LaGrange or LaGrange Park.  
23 And our spirituality center will then be able to  
24 offer classes about sustainability and living in a

1 sustainable way and show how we could build  
2 accordingly.

3           So we definitely think that this will  
4 enhance the view from Ogden Avenue and will be very  
5 much in sync with the neighborhood design both in  
6 LaGrange and LaGrange Park. And so I would like to  
7 invite Mark Boehlke from Hoffman to help explain  
8 more about the building.

9  
10           M A R K   S.   B O E H L K E,  
11 having been first duly sworn, testified as follows:

12           Thank you, Sr. Pat. My name is Mark  
13 Boehlke. I am a landscape architect and planner,  
14 project manager with Hoffman Planning and Design in  
15 Appleton, Wisconsin. Our company works with a lot  
16 of women religious organizations all over the  
17 country, and we have had the privilege to work with  
18 the Congregation of St. Joseph here as well as three  
19 other sites in different cities around the country.  
20 And we have been working together for about three or  
21 four years now with the congregation here in  
22 LaGrange Park.

23           I brought some -- I am just going to  
24 briefly go through the project. And we put together

1 a Power Point that we can share with you. We brought  
2 an aerial of the site. I know the Zoning Board has  
3 had the privilege of reading all of our material --  
4 we had quite a lengthy submittal -- but some in the  
5 audience haven't. So bear with me if I am being a  
6 little redundant for some of you, but I know there's  
7 some people in the audience that may not know some  
8 of these things.

9           So this is an aerial of the site. The  
10 sisters' property is outlined in yellow or I should  
11 say the sisters' parcel that we are looking at right  
12 now. The sisters actually own more land, part of  
13 Nazareth Academy. That land is also owned by the  
14 sisters but leased to Nazareth Academy. The red  
15 line on here represents the PUD boundaries. And  
16 tonight that's what we're talking about is an amend-  
17 ment to that planned unit development or PUD.

18           So we brought some pretty -- We tried to  
19 make these fairly simple so they're readable. These  
20 are phases of the project. And as Sr. Pat mentioned,  
21 the main focus is a new home for the sisters and the  
22 deconstruction of one of the buildings in their  
23 complex of buildings and construction of a new  
24 building. So all the buildings in pink or red here

1 represent the sisters' buildings. There is one  
2 called H building -- that's the building that will  
3 be deconstructed -- Welcome Hall, I building and  
4 then the chapel. These buildings here are Bethlehem  
5 Woods just to give you the relationship of the  
6 buildings here. There is a connection between  
7 Bethlehem Woods and the sisters' buildings.

8           There are two -- We have come up with two  
9 phases for construction of the project. The first  
10 phase is really I will call it the preparation phase.  
11 And the first phase -- We call this phase 1A. The  
12 first phase will begin this fall, hopefully, and  
13 includes renovation of this building, one of the  
14 existing buildings. And the reason we are phasing  
15 this is the sisters need a place to live while we're  
16 deconstructing the other building. That's why we  
17 have to phase things. So this first phase is really  
18 just renovation of this building and some minor  
19 work, some minor utility work that will be done. So  
20 that phase runs from this fall until early next year  
21 around February to do some of that renovation.

22           And then the second part of phase one which  
23 we're calling 1B would be some additional work. And  
24 this would be parking in this area around the chapel,

1 the front of the chapel and on the side of the  
2 chapel towards Nazareth Academy. We need to build a  
3 new parking lot there so again while we're building  
4 the new building we have some parking that the  
5 sisters can use. So during this phase or right  
6 after this phase this parking would be available  
7 along with the parking on the ring road. If you are  
8 familiar with the site there's a road that parallels  
9 Ogden and that is used for some parking. So that  
10 would provide parking as we go into phase two.

11           Phase two is really deconstruction of the  
12 tall building, the six-story building, which is  
13 right here. It's labeled as H building. So the  
14 first part of phase two is to deconstruct that  
15 building. So the line on here represents the area  
16 of the construction zone. So during this phase as I  
17 said we'd have the parking that was done in phase  
18 one, and then the sisters would be living in the  
19 I building and this area right here, the H building,  
20 would be all deconstructed during this phase. And  
21 this would be from June next year, June, 2017, and  
22 that deconstruction would probably take three or  
23 four months, at most probably five months depending  
24 on any unusual conditions. So that will all be

1 completed -- projected to be completed by September  
2 of next year. About a year from now that building  
3 would be deconstructed.

4           And then the new building which is right  
5 here in blue on here would be constructed. It would  
6 begin September of next year, about a year from now,  
7 and that is going to take about a year to construct  
8 that building. And then as part of that building  
9 too there will be another parking lot over here.

10 This would be I will call it the west parking lot  
11 which is the sisters' parking, parking for the  
12 sisters that reside in the new building. And then  
13 all the parking over here would be for visitors or  
14 other users of the property, the facilities. And  
15 then this is at project completion just showing the  
16 parking and the new building at project completion.

17           And then we did bring along a landscape  
18 plan. We put some color on this to highlight some  
19 of the landscaping. And one of the features on site  
20 is we're creating a nice green space here so the  
21 resident rooms, the sister rooms -- sisters' rooms  
22 in the new building can overlook a nicely landscaped  
23 stormwater management area. So that's a nice  
24 feature and something the sisters felt was important

1 on the project.

2 I guess some things I wanted to talk about  
3 are some of the main components of the project. And  
4 I call these positive outcomes because I think they  
5 truly are. The sisters, working with them has been  
6 a real joy because they go through a very thoughtful  
7 process as they -- in their decision-making. So  
8 Sr. Pat brought up the LEED design. That has always  
9 been a really important component. We have done a  
10 lot of sustainable and LEED-certified buildings.

11 So some of the main differences between  
12 existing and proposed. The building height is  
13 obviously one of the main differences. We're going  
14 from almost 80 feet in height down to about 30 feet  
15 with the new building. The square footage of the  
16 building is reduced by 14,000 -- a little over 14,000  
17 square feet. The appearance is going from institu-  
18 tional to residential. The parking -- We have --  
19 Actually even though there will be fewer users we  
20 have actually tried to increase the parking a little  
21 bit. And the reason we did that is the ring road  
22 in front, we'd like to minimize the use of that if  
23 we can so that is open for, I guess, times when more  
24 parking is needed. So we have actually increased

1 the parking by several stalls on the current design.  
2 And then the carbon footprint is reduced. Sr. Pat  
3 mentioned that.

4           The traffic. We had a traffic engineer  
5 look at this and he concluded that traffic would be  
6 reduced. There is going to be increased improved  
7 stormwater management on site. And then a couple  
8 other things. The cell tower or the cell equipment  
9 on top of the building right now, this project as  
10 well as the other project you are going to hear about  
11 tonight provide a long-term solution for that.  
12 Obviously with that equipment on an old building at  
13 some point the building has got to come down. So  
14 this provides a solution for that, a long-term  
15 solution for the location and the coverage for the  
16 cell equipment. And then most importantly I think  
17 this provides a new home for the sisters. I think  
18 Sr. Pat said how important it is for them to -- that  
19 they want to stay in LaGrange Park. This has been  
20 their home for many, many years. And so I think  
21 that's one of the most important positive outcomes  
22 here is the sisters are staying in the village.

23           And then I just included a couple of images  
24 of the existing building here again to look at what's

1 there now, the institutional appearance, and then  
2 what we're going to be seeing here. And this would  
3 be the front view looking from the Ogden side of the  
4 building.

5 We have our people here to answer questions  
6 if you have any. We have some of the other design  
7 professionals that have worked on the project, and  
8 we would be glad to answer any questions after we're  
9 done with our presentation. So over to Jim.

10

11 J A M E S V A S S E L L I,  
12 having been first duly sworn, testified as follows:

13 Good evening, Mr. Chairman. For the record  
14 my name is James Vasselli, V-a-s-s-e-l-l-i. I am  
15 the lawyer for the project.

16 In addition to all statutorily and ordained  
17 required notices under the village code, the congreg-  
18 gation, the applicant, actually held an open house.  
19 That open house was August the 2nd from seven  
20 o'clock to 8:15 at which time we invited all the  
21 neighboring residents as they were hand-delivered  
22 invitations, postcard -- larger than postcard size  
23 invitations to come in and discuss the project. We  
24 did receive some good feedback. We wanted the board

1 to know that we do care about the community. We  
2 want the community to be involved. The congregation  
3 has been a part of the community for more than a  
4 century. It's very important to the congregation --  
5 to the applicant to ensure that the community is  
6 involved in this. And that's why we invited the  
7 people out in addition to meeting and satisfying all  
8 statutory and ordained notification requirements.

9           So the planned unit development -- I want  
10 to go through the exceptions from the zoning ordi-  
11 nance and the village code. So the light poles are  
12 in the zoning code to be 12 feet. The existing  
13 light poles on the property -- on the site --

14           CHAIRMAN BOYD: Mr. Vasselli, would you mind  
15 just explaining to the people that are here what a  
16 PUD is and why we're talking about this?

17           MR. VASSELLI: Sure. Thank you, Mr. Chairman,  
18 for that invitation.

19           A planned unit development is a special  
20 kind of land use control. And what it allows for  
21 generally is a unique type of land use system where  
22 normally an industrial use or residential use will  
23 have certain standards and in a PUD there is often-  
24 times and usually multiple variations from that

1 standard to accommodate a unique use such as a  
2 congregation that's been in existence since the  
3 1960s on the site.

4 SR. BERGEN: 1920s.

5 MR. VASSELLI: I'm sorry, 1920s on the site. I  
6 apologize, Sister, and to the board and to the  
7 audience. This PUD also encompasses a living  
8 facility immediately to the west and this congregation  
9 put the chapel thereon. So it is a unique land use  
10 control device. Is that a good explanation?

11 CHAIRMAN BOYD: Thank you.

12 MR. VASSELLI: And in those unique land use  
13 control devices there are often exceptions from the  
14 underlying or base zoning district. In this case  
15 light poles are supposed to be 12 feet but all the  
16 other light poles on the PUD are 20 feet. And we  
17 believe that this is important to maintain because  
18 it creates additional lighting and additional  
19 visibility for the people on the PUD.

20 The lighting levels are also higher candles.  
21 A candle is a measure of light that comes off of a  
22 light pole, for example. And this exceeds somewhat,  
23 but it will not be a detriment to the surrounding  
24 community and it will create increased light for the

1 new development. I can get through the program but  
2 I can't get the slides to work.

3           We have a chiller. That's part of an HVAC  
4 system. That's required to be in the rear yard. We  
5 do not have a rear yard so we are asking to have --  
6 asking for an exception to have that on the side  
7 yard. This allows the facility to have its own HVAC  
8 system. It avoids impeding on existing easements or  
9 utilities, and there will be buffering and screening  
10 on there.

11           And now with every PUD as we briefly  
12 described there are standards. There's inherent  
13 standards when you talk about what goes on and for  
14 the approval of this board or the village board  
15 after the recommendation of this board for a PUD.  
16 And we believe we have satisfied those as well. Is  
17 this a unified development? Yes. It's already an  
18 existing PUD. As the board will allow me a lot of  
19 these are going to be redundant. A lot of this  
20 falls back to the fact we are in an existing PUD and  
21 we are using it for the same uses for which it was  
22 approved.

23           Again it does not endanger the public  
24 health and safety. It's actually the same use. It

1 decreases occupants and users, and as stated there  
2 is a decrease in traffic.

3           It is not injurious to the enjoyment of  
4 other properties. Again, same use, decrease in  
5 users and occupants, decrease in traffic.

6           It does not diminish property values.  
7 There is no evidence of reduced property values  
8 because of this proposed change. And it is actually  
9 increasing the neighborhood in so much as we are  
10 taking an industrial-type -- I don't want to say  
11 warehouse-type building but industrial-type use  
12 which was great for its era, but we are changing it  
13 to a new residential-type building.

14           It does not impede the orderly development.  
15 Again a decrease in traffic, occupants and users and  
16 it's the same use that we had before.

17           Adequate utilities. It has to show  
18 adequate utilities, parking and pedestrian access.  
19 Essentially we're using the same utilities with some  
20 minor variances -- excuse the term, Mr. Chairman --  
21 but some minor changes from that. Generally it's  
22 the same utilities. Again decrease in the parking  
23 and the same pedestrian access to the area. In fact  
24 it increases pedestrian access for people who want

1 to use the site.

2 Adequate vehicle ingress and egress needs  
3 to be shown. It's the same ingress and egress that  
4 is used for Ogden Avenue generally. We obviously  
5 worked with our neighbors to the east and west with  
6 regard to ingress and egress issues.

7 And compatibility of structures. I believe  
8 that this is actually more compatible. It is a  
9 large decrease in the height of the building for the  
10 new proposed building and it's more residential in  
11 appearance as I stated before.

12 Suitability of landscaping. This conforms  
13 to the village code. As was discussed there will  
14 be an aesthetically pleasing stormwater basin in the  
15 western portion of the new development. And I believe  
16 that the landscaping plan as you have seen highlights  
17 natural landscaping. There are a number of different  
18 types of trees on there, but it also goes back to  
19 the natural foliage aspect of the site.

20 And then the final aspect that we look at  
21 is the spirit and intent of the code. Again I will  
22 repeat myself for the last time. This is the existing  
23 PUD and it's the exact same use we have had since  
24 the 1920s on the site. Sr. Pat?

1 SR. BERGEN: So I get the privilege of thanking  
2 you, Zoning Board, for giving us the time. And  
3 thank you, staff, for the infinite amount of time  
4 that you have given us over these past two and a  
5 half years as we worked with you. You have been  
6 wonderful. Thank you very much. And we want to  
7 thank you for the very complete and comprehensive  
8 report that you gave. This is extremely detailed  
9 and you do your work well. Thank you. We're very  
10 grateful for that. And we're also especially grateful  
11 for the positive recommendation you are giving to  
12 the Zoning Board on our behalf. So thank you very,  
13 very much. And I think that's the end of our  
14 presentation.

15 CHAIRMAN BOYD: Thank you.

16 SR. BERGEN: You're welcome.

17 CHAIRMAN BOYD: Just to be clear for the  
18 audience too, the staff in every single matter that  
19 goes before the Zoning Board makes a recommendation.  
20 It wasn't special for the sisters here even though  
21 they have been working for a number of years on this.  
22 We consider that recommendation as well as the  
23 testimony presented today and we consider it compar-  
24 ing it to the standards Mr. Vasselli just went over.

1 That's our job. Our job -- We are not paid. We  
2 are all volunteers up here. Our job is to look at  
3 what the standards are, look at the evidence and  
4 compare the evidence to the standards.

5 So with that I would invite anybody else  
6 who would like to speak either for or against the  
7 project, if you would step to the microphone and  
8 state your name and where you live so the court  
9 reporter can record that. Would anybody like to  
10 provide any testimony? If you would like to provide  
11 testimony raise your hand. All right. I will come  
12 back in just a second and see if anybody else has  
13 anything to say.

14 But let's check with the Board of Appeals  
15 members here. Let's go through this. Mr. Bartholomi,  
16 do you have any comments or questions or anything?

17 MR. BARTHOLOMI: I always appreciate you  
18 starting on this side.

19 CHAIRMAN BOYD: I go back and forth for those  
20 of you who have been to these meetings before.

21 MR. BARTHOLOMI: A couple quick questions. And  
22 I guess thank you for the kind words Sr. Pat has for  
23 the staff. We did get the big packets with all the  
24 drawings and everything else. That memo was a good

1 guide working through all the areas of this.

2           One of the questions I had was about the  
3 lighting. So I know candle power is a measurement  
4 for lighting output, I suppose, so the lighting is  
5 one of my questions, the candle power. In particular  
6 I think in certain instances it exceeds the rules  
7 that we have, but what I am not sure of is by what  
8 percentage. I did see the lighting plan. It wasn't  
9 clear to me. I am sure at certain points when the  
10 lights are closer to the other lights there is an  
11 extra increase of what it should be, and I wasn't  
12 sure what that was.

13           CHAIRMAN BOYD: Mr. Boehlke, repeat your name.

14           MR. BOEHLKE: Mark Boehlke with Hoffman. I am  
15 not the lighting designer but I am going to answer  
16 your question as best as I can. We are not -- I  
17 think what was said is that there is going to be  
18 light in some areas that exceeds your requirements.  
19 It already exceeds those requirements. My understand-  
20 ing is the level -- the light level on site is not  
21 going to be increased. We are just using -- We  
22 just had to ask for an exception because we are  
23 going above the 12 foot that's typical in a residen-  
24 tial zoning area. So we are just basically replacing

1 some of the lights that were in the parking lots and  
2 adding some additional lights because of the  
3 reconfiguration of the parking lot.

4           And some of the -- The other exception  
5 was to the light level at property lines. Technically  
6 we are exceeding the light levels at property lines  
7 that are required by your ordinance. That's also an  
8 existing condition that they already exceed those.  
9 And the reason is this development is all -- was  
10 all -- it's so integrated, the parking lots, the  
11 drives and everything. And the parcel lines, there's  
12 actually -- For instance, there is a parcel line  
13 that goes right here, there is a parcel line that  
14 goes right here but it's right down the street. So  
15 technically to get to a light level that's really  
16 low at a property line we really can't do that because  
17 there's existing lights here. And then we'll be  
18 putting some new lights in here, but there already  
19 are lights all across the front in the parking lot.

20           So I think we're really not doing anything  
21 different than is there right now but we had to add  
22 that. We went through with staff and we had to ask  
23 for that exception because -- mainly because the  
24 existing conditions exceed those.

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E M I L Y R O D M A N,

having been first duly sworn, testified as follows:

And just to add to that, the two areas I have highlighted here are the two areas that exceed what the code allows which is half a foot-candle along the property line. They vary along the property line here. I think the highest is 1.3, so almost three times the amount that's allowed. But as Mr. Boehlke indicated, it's because there's some existing lighting there but also because these are areas where you can see this is the access into the property. This is also an access point. The property line happens to cross there. But you need those lighting levels for safe ingress and egress to the site. So it makes sense that the lighting levels would exceed at those points. But because of the way the standards are written in the zoning code it does require that that be called out as a special exception.

MR. BARTHOLOMI: Thank you. And I believe I also read that these are LED lights. So presumably what you're replacing were not LED lights. And the LED aspect kind of ties into getting the LEED certification for the project?

1 MR. BOEHLKE: Right. I guess I want to  
2 clarify. I don't know if the sisters have decided  
3 to go for certification. We are designing the  
4 building to LEED standards. Almost every building  
5 we do is designed to silver or gold LEED standards.  
6 And that's what we're tracking on this project. I  
7 don't know that the sisters have decided to certify  
8 it but it's designed to those standards.

9 MR. BARTHOLOMI: Thank you. One more parking  
10 lot question. Sorry. So I notice an inconsistency  
11 in the documentation. At one point -- In several  
12 instances it is indicated there's 115 parking spots  
13 currently, but then in your amended project summary  
14 it states 108 in one part and 115 in a different.  
15 So are we moving from 108 or 115?

16 MR. BOEHLKE: It is 115. If there was a typo  
17 in there I apologize. We had to estimate -- I  
18 think there was a number we estimated at one time on  
19 the ring road, and then we went out and actually  
20 measured how many stalls can be on that road and  
21 that varied a little bit. So I think that was  
22 through working with staff we figured out how they  
23 wanted us to calculate that part. That's why it's  
24 108 to 115. Sorry about that.

1 MR. BARTHOLOMI: Thank you. Those are the only  
2 questions I have right now.

3 CHAIRMAN BOYD: Ms. Domagalski?

4 MS. DOMAGALSKI: First of all I wanted to say  
5 that I appreciate particularly that the sisters made  
6 an effort before the public hearing to reach out to  
7 neighbors and hosting an event at the property. That  
8 says a lot to me about your commitment to the  
9 neighborhood and to working together with the  
10 neighbors. So thank you for that.

11 My questions may jump around a little bit  
12 because my notes aren't terribly organized, so I  
13 apologize for that.

14 One of the big things that jumped out at  
15 me in reviewing this application is the reduction in  
16 the required parking from, I believe, 455 spaces to  
17 108 if that's right. And given that the three  
18 properties, Nazareth, Bethlehem Woods and the sisters'  
19 property are used together and cooperatively I am  
20 wondering if staff can illuminate whether the  
21 Bethlehem Woods property meets the parking require-  
22 ments under the code.

23 MS. RODMAN: Honestly I cannot answer that  
24 question. The code has changed since that property

1 was built so I suspect it does not meet the current  
2 strict code standards. But again what we looked  
3 at -- And we asked despite the fact that -- The  
4 parking that is in place now on the sisters' property,  
5 that was approved as part of the PUD so it is  
6 considered in compliance in that regard. But we did  
7 ask them to go back and take a look at if we applied  
8 the code strictly per the type of uses that are on  
9 the property -- because there are multiple uses --  
10 what would the requirements be. That was just to  
11 give us a little bit of context for what the code  
12 today would require if that property were used in a  
13 traditional manner with how the zoning code  
14 contemplates parking requirements. That is why they  
15 provided that count. But in reality the way the  
16 property is used does not really match up traditionally  
17 with those parking counts. We talked a little bit  
18 about that in the staff memo.

19           The sisters live and work on site. The  
20 chapel is not used in the same way that typically  
21 churches are used where you have, you know, large  
22 numbers of people coming to the site. They have  
23 shared parking with adjacent properties. So there  
24 are a lot of factors that come into play with the

1 use of this site which is why we don't have a concern  
2 with the way that the parking is being accommodated.

3 MS. DOMAGALSKI: Okay. The other parking-related  
4 question is that there are a number of references to  
5 the existing ring road having the capacity for 47  
6 parking stalls, but I didn't see that actually noted  
7 on any drawing. So, you know, has that been verified?  
8 What do we base that number on? Is it just the  
9 linear footage?

10 MS. RODMAN: It is. And I can let Mark jump in  
11 here. But the ring road is not currently striped.  
12 And we didn't want them to put striping on the plans  
13 because the plans need to show ultimately what is  
14 going to be out there. So if you put striping on  
15 the plans then you to have to go out and stripe the  
16 ring road and they are not modifying the ring road  
17 in any way. So what I asked them to do was to go  
18 out and look at -- measure the linear footage of the  
19 ring road and divide that by what the code requires  
20 for a typical length of a parallel parking stall to  
21 determine how many cars could be accommodated on the  
22 ring road. That's where that number is from.

23 MS. DOMAGALSKI: Okay. Do we have any sense --  
24 again this is for staff -- of what the parking

1 requirement would be for the facility as it currently  
2 exists under the current code?

3 MS. RODMAN: I don't know if that calculation  
4 was in here. Let me take a look.

5 MS. KEATING: On page 2 of your memo.

6 MS. DOMAGALSKI: As it exists.

7 MS. RODMAN: 455 stalls currently.

8 MS. DOMAGALSKI: That's as it exists right now,  
9 not -- I read that and I thought it was saying 455  
10 spaces would be the code requirement for the new  
11 delineation.

12 MS. RODMAN: No. That number is in the parking  
13 calculation that they provided, but that was not  
14 what I was referencing here.

15 MS. DOMAGALSKI: All right. That makes a lot  
16 more sense then.

17 A question for the applicant. Actually  
18 no, one more question about parking. I happen to  
19 know that even though the chapel is used differently  
20 than a typical church, on Christmas Eve, on Christmas  
21 Day they have overflow masses for St. Francis there.  
22 Would there be any consideration during the construc-  
23 tion period -- for example, I know it does take  
24 place through the winter -- for accommodating that

1 or is there going to be any limitation on the use of  
2 the property for things like overflow mass for  
3 St. Francis?

4 MS. RODMAN: I will let Sr. Pat respond to that.

5 SR. BERGEN: Nazareth is not in session on  
6 Christmas Eve or Christmas Day so all of the Nazareth  
7 parking is available to us on those days. So I  
8 think that takes care of it.

9 MS. DOMAGALSKI: Okay. So a question for staff.  
10 The application talks about guest rooms and residences.  
11 Are those looked at the same under the code or --  
12 Are they both considered like a residential apartment  
13 or are they looked at differently? What is the  
14 difference between those two types of residential  
15 uses?

16 MS. RODMAN: As it relates to parking?

17 MS. DOMAGALSKI: Well, in general. As relates  
18 to parking, as relates to -- I didn't know.

19 MS. RODMAN: In looking at the zoning code the  
20 way that -- We looked at them as the same type of  
21 use because they're intended to house somebody  
22 whether it's long-term or in a shorter term duration.

23 MS. DOMAGALSKI: Okay. This is a question for  
24 the sisters. How many people actually currently

1 live on the property and how many people work there?

2 SR. BERGEN: So the total number of people as  
3 of today, which changed from yesterday, that live  
4 there were 28. How many people work there?

5 MS. DOMAGALSKI: Ballpark.

6 SR. BERGEN: Yeah. It could be 50 people work  
7 there at present. Does that include the twenty --  
8 I think that includes the sisters.

9 AUDIENCE MEMBER: Some are part-time.

10 SR. BERGEN: Okay. No, it includes -- That's  
11 just people who work there and some of them work  
12 part-time.

13 MS. DOMAGALSKI: Thank you.

14 SR. BERGEN: So that is that number.

15 MS. DOMAGALSKI: One of the things that is  
16 always striking -- I grew up in the area and I have  
17 driven down Ogden Avenue my whole life -- is the  
18 unique nature of the chapel's architectural design.  
19 You know, it's kind of funky, it's a product of an  
20 era, and I have to say I have got kind of a soft  
21 spot for it. And the style of design for the new  
22 building is quite different. And I am wondering if  
23 there could be a brief discussion for what drove the  
24 choice of materials in relation to the chapel so as

1 you drive down Ogden Avenue --

2 CHAIRMAN BOYD: State your name and your  
3 address. Were you sworn in earlier?

4

5 R O B E R T T A Y L O R,  
6 having been first duly sworn, testified as follows:

7 Yes. Robert Taylor. I am the project  
8 architect. I am from Appleton, Wisconsin.

9 So the current architectural design is  
10 meant to kind of blend a little bit with the campus.  
11 So we didn't want something that would in itself  
12 stick out from the rest. So the brick selected is  
13 going to match the chapel brick. So that's a mix  
14 of colors. If you have been up close it's a mix of  
15 colors in that brick. We used a split face appear-  
16 ance down low to create different elements of the  
17 building. In a good design you take a base, a center  
18 and a top. The sloped roof was meant to present a  
19 more residential appearance. And then we have kind  
20 of a one-story office area connecting to the chapel.  
21 The chapel kind of tapers down to a low-slope flat  
22 roof if you will so we connect to that with our own  
23 low-slope flat roof. So there is a porta-cochere  
24 entry canopy over the main entry.

1           So as you can see the windows -- there are  
2 a lot of windows. There is more glazing. There is  
3 a differentiation of materials. The current building  
4 is really just entirely brick. There is kind of one  
5 window pattern repeating through all. The new  
6 appearance is meant to be a little softer, a more  
7 inviting appearance in general. Does that address  
8 the question?

9           MS. DOMAGALSKI: Yes. I mean it's an unusual  
10 fenestration along the base of the chapel. It's  
11 obviously very different on the other side. And I  
12 just thought did you consider doing that shape of  
13 window rather than a double hung.

14          MR. TAYLOR: You are talking about these windows  
15 here?

16          MS. DOMAGALSKI: Yes.

17          MR. TAYLOR: So those are very unique in how  
18 they're done. They're precast panels with a glass  
19 panel inserted into them. So in terms of efficiency  
20 that's a pretty poor design. So in terms of energy  
21 efficiency we're doing what's called a Fibrex window  
22 is what we're specifying from Andersen. It's a more  
23 thermally efficient window but relying on great  
24 views. So we're making sure we're maximizing on the

1 daylight coming into the space.

2           And then those tall type of windows don't  
3 present a very residential feel for the occupants of  
4 the room. If you walk into a room and you have  
5 glazing down to the floor it presents a very different  
6 feel especially in someone's bedroom. So the windows  
7 that we have are more residential in term of appear-  
8 ance from the outside but also from the occupants'  
9 perspective. Does that answer that?

10           MS. DOMAGALSKI: Yes, it does. I just want to  
11 understand the thinking when you have such a unique  
12 building and how you connect the two.

13           MR. TAYLOR: Absolutely. So materiality was  
14 important. And we want to make sure we connect with  
15 the existing brick pattern so we made sure we got a  
16 match with that from a local brick supplier. And we  
17 tie into that as well as we can with the low  
18 structure tapering up into our new residential wing.

19           MS. DOMAGALSKI: And one other sort of  
20 architectural-related question. It might be more  
21 appropriate for Sr. Pat. But I am just wondering  
22 about the idea of switching from a six-story building  
23 with a smaller footprint to a two-story building  
24 with a much larger building footprint. So if you

1 could address that.

2 MR. TAYLOR: I could address part of that.

3 Maybe she can as well. But code-wise for an assisted  
4 living building there's limitations on height in  
5 terms of what you are allowed to build. So we  
6 probably wouldn't be able to do a six-story building  
7 at current code with that type of use.

8 MS. DOMAGALSKI: Okay.

9 MR. TAYLOR: I would have to look in the code  
10 exactly. But that would be one driving factor. The  
11 other is ease of use for the occupants, one flight  
12 of stairs versus six, and all using an elevator. It  
13 becomes the ease of use of the facility as well.

14 MS. DOMAGALSKI: Thank you. One final question  
15 related to the chiller. I didn't see any elevation  
16 drawings of what the fencing will look like or the  
17 chiller will look like other than -- It took me a  
18 while to find it on the plans honestly. But I am  
19 wondering if there is any kind of drawing or detail-  
20 ing what that fence would be, the specifics on the  
21 landscaping around it.

22 MR. BOEHLKE: The landscape has been detailed.  
23 The fencing has not been selected yet. We know it  
24 has to be limited to six feet. But that has not

1 been -- the sisters have not made a final selection  
2 on that yet. But the landscaping -- If you have  
3 had a chance to look at the landscaping there is  
4 substantial tall landscaping around that entire area  
5 which will exceed the height of the equipment, and  
6 the landscaping will also exceed the height of the  
7 fence.

8 MS. DOMAGALSKI: Is it primarily evergreens or  
9 is it shrubs or is it flowers? Is it native grasses?

10 MR. BOEHLKE: Tall evergreens mainly.

11 MS. DOMAGALSKI: It was a little difficult to  
12 see that on there.

13 MR. BOEHLKE: If you would like more detail we  
14 have someone here that can --

15 MS. DOMAGALSKI: Why not. Let's make it part  
16 of the record.

17

18 D A V I D M c C A L L U M,  
19 having been first duly sworn, testified as follows:

20 Good evening. My name is David McCallum.  
21 I am the project landscape architect. The address  
22 is 350 North Milwaukee Avenue in Libertyville.

23 CHAIRMAN BOYD: Were you previously sworn in?

24 MR. McCALLUM: I was. As Mark has mentioned

1 there will be a six-foot-high fence around the chiller  
2 itself. Primarily to the north, west and south that  
3 will be screened with a combination of eight-foot  
4 and ten-foot-high evergreen trees. There will be  
5 eastern red cedar, several varieties of spruce.  
6 They're spaced fairly close together to provide  
7 additional impact of screening from day one. The  
8 area to the east, however, is open. At that point  
9 you will see the wood fence.

10 MS. DOMAGALSKI: Thank you. That was helpful.  
11 How deep is the stormwater detention area? We are  
12 getting everybody up here.

13

14 R Y A N F E E N E Y,  
15 having been first duly sworn, testified as follows:

16 I am Ryan Feeney with Eriksson Engineering.

17 The stormwater detention system, the  
18 visible portion of it, will have ponding with depths  
19 of up to 12 inches for a period of 24 to 48 hours.  
20 Then the water will drain down into the subbasement  
21 below it which is made of stone and various porous  
22 materials to allow more space and water cleaning.

23 MS. DOMAGALSKI: Okay.

24 MR. BOEHLKE: Was the question how deep?

1 MS. DOMAGALSKI: Yes. If you are standing at  
2 grade how far down?

3 MR. BOEHLKE: How much it drops?

4 MR. FEENEY: Approximately five feet.

5 MS. DOMAGALSKI: Then at the base of it it  
6 looks like there's some kind of planting. Are those  
7 flowers? Are they --

8 MR. McCALLUM: Those will be native forbs or  
9 flowers and also sedges or grasses.

10 MS. DOMAGALSKI: Okay. Thank you. I think  
11 that's it for me.

12 CHAIRMAN BOYD: Thank you. Ms. Keating has  
13 asked to speak on the traffic issue. Ms. Keating?

14 MS. KEATING: Actually on the parking issue. I  
15 just wanted to make an observation, and it's really  
16 a clarification of the staff memo.

17 When Emily says under our current zoning  
18 code the current parking requirement would be 455  
19 stalls what she is really doing is there is an  
20 implied observation there on Emily's part that what  
21 the actual use of the property is, a religious  
22 motherhouse, is a use that we don't have in our code.  
23 So we have no parking requirement for that religious  
24 motherhouse use. What we have is parking requirements

1 for multi-family structures which are apartment  
2 buildings and condominium buildings and office  
3 buildings and church buildings. But the church  
4 buildings obviously are more like parish churches  
5 that have high attendance every Sunday or whenever  
6 they have services. So I don't want us to get fixated  
7 on this 455 stalls because, as Mr. Vasselli pointed  
8 out, this is a planned unit development largely due  
9 to the uniqueness of the two uses on the property,  
10 both the religious or motherhouse use and the  
11 independent living and assisted living that presently  
12 is on the site. And the existing number of spaces  
13 was approved back when the original PUD was approved.  
14 I believe that was in the mid-1980s. I would expect  
15 that the number of sisters living at the motherhouse  
16 has decreased very substantially since the mid-1980s.  
17 So I just wanted to make that observation.

18 CHAIRMAN BOYD: Thank you, Ms. Keating.  
19 Mr. Studwell?

20 MR. STUDWELL: Thank you, Mr. Chairman.  
21 Continuing on the theme of the parking, what time of  
22 the year are we going to be losing those 25 spaces  
23 approximately? I know that you have got it phased  
24 into four -- roughly four different phases. What

1 time of the year?

2 MR. BOEHLKE: The first part of phase one doesn't  
3 impact parking at all. The second part -- I will  
4 pull this up here. During this phase -- If you  
5 have any of these exhibits there will be 88 stalls  
6 available for use during this phase of construc-  
7 tion. And those 88 stalls would be the new 41  
8 stalls here and then the 47 along the ring road. So  
9 there is an existing 115 so we are going to be under  
10 that. Now, the sisters have agreed to limit events  
11 and things like that. During construction they're  
12 obviously going to limit things. They are not going  
13 to want to have people not have places to park.

14 The other thing is there has been an  
15 already-recognized decrease in the parking demand  
16 because some people have moved out of the building  
17 already. Some office use has moved out, some of the  
18 resident rooms are vacant now. So they have already  
19 seen a pretty substantial difference. And if any of  
20 you have gone by there during a typical day I think  
21 you will see where there used to be almost a full  
22 parking lot and the ring road had a lot of cars on  
23 it, now you will see more vacant stalls. So between  
24 that and the control the sisters have over, you

1 know, who comes on site they're very comfortable  
2 with the 88 stalls during that construction period.  
3 And that would last -- Phase two basically lasts  
4 from October -- I'm sorry -- from September of next  
5 year so late summer, early fall next year for about  
6 a year.

7 MR. STUDWELL: Okay. My concern is part of  
8 this was a real concern by the community for adding  
9 lights to Nazareth Academy stadium and the park  
10 issues and a lot of concerns that the local residents  
11 had. And I didn't know if this was going to exacerbate  
12 that along with the folks that will be working on  
13 the facility itself being brought into the site. So  
14 I see some competing needs for parking spaces that I  
15 would like for somebody to address, please.

16 MR. BOEHLKE: I guess one thing I will just  
17 briefly say about this because some people in the  
18 audience may not have heard this and you have had  
19 the privilege of reading all the details, during  
20 construction we're going to have -- the contractors  
21 will be restricted from parking on -- using the  
22 stalls on the site. They will be restricted to only  
23 the construction zone for that phase and they have  
24 -- or at Nazareth Academy or off site. And that's

1 pretty common. I think you will find contractors  
2 around here are pretty used to finding off-site  
3 parking because there are a lot of projects where  
4 there is no parking on site. I just wanted to address  
5 the construction. During construction the actual  
6 construction workers are not going to just be able  
7 to park in the neighborhoods and park anywhere they  
8 want on site. That will be very controlled.

9 SR. BERGEN: That's part of what I was going to  
10 say is parking will -- they will get parking off  
11 space. They won't be on the streets, construction  
12 uses.

13 The other thing is that we can moderate  
14 what we have in our building when Nazareth has a  
15 football game. So that allows Nazareth to have the  
16 space for the most part. We might need a few spaces  
17 but not near as many as we do if they have a program  
18 running at the same time that football is running.

19 MR. STUDWELL: That is a very, very sensitive  
20 item that went on for a long, long time.

21 SR. BERGEN: I know it is.

22 MR. STUDWELL: So I would appreciate some level  
23 of sensibility and accommodation especially to the  
24 local residents. Thank you.

1 SR. BERGEN: Thank you.

2 MR. STUDWELL: One of the other observations  
3 is that although we talk about a reduction in the  
4 square footage, as was noted earlier we actually do  
5 have an increase -- a substantial increase in the  
6 footprint. We are going from approximately about  
7 10,000 square foot I think is the current footprint  
8 of the building, building H, and we are going up to  
9 about 23,500 as the footprint. Is that a correct  
10 observation on my part?

11 MR. BOEHLKE: Yes, that is. And I guess you're  
12 correct, the square footage of the footprint has  
13 increased. But the pavement area is essentially the  
14 same, the amount of pavement on site. And thus we  
15 had to meet the MWRD and village requirements for  
16 stormwater management. So that's the reason for --

17 MR. STUDWELL: The detention pond?

18 MR. BOEHLKE: -- the stormwater basin. Not to  
19 say we wouldn't have had to do some of it. The good  
20 thing is that roof water I guess in engineering  
21 terms is clean water versus pavement water. So the  
22 increase in pervious surface is at least a clean  
23 water -- in quotations a clean water situation and  
24 it goes into a stormwater basin that will treat the

1 quantity and the quality of that runoff.

2 MR. STUDWELL: And also the new structure  
3 literally cuts the distance in half between the old  
4 structure and Ogden Avenue. So you're coming way  
5 out on your setback from Ogden Avenue. You're about  
6 half the distance.

7 MR. BOEHLKE: Right. And just to give you some  
8 perspective, this is about -- I am estimating right  
9 now based on what I see, but it's still well over  
10 100 feet from the right-of-way of Ogden. And again  
11 our thinking was the mass of the building from Ogden  
12 is going to be so much less that that kind of offsets  
13 some of that. But it is closer, there is no doubt  
14 about that. And to go to a two-story assisted type  
15 living situation we need a bigger footprint.

16 MR. STUDWELL: I am going to switch gears one  
17 more time. Does staff know the reason why the  
18 20-foot variance was granted the first time, why  
19 instead of 12 foot it went up to 20 foot?

20 CHAIRMAN BOYD: For lighting?

21 MR. STUDWELL: For the lighting.

22 MS. RODMAN: I don't know. Again that was under  
23 a different zoning code. So that 12-foot requirement  
24 may not have been in place. It may not have even

1 required a variance at the time.

2 MR. STUDWELL: Okay.

3 MS. RODMAN: That's the answer to the question.

4 MS. KEATING: I am pretty sure the zoning code  
5 did not have that level of specificity. I was at  
6 those hearings and I don't recall there being any  
7 discussion about it. It was an overall project  
8 design. We substantially revised our zoning code  
9 back in 2011 and it is at least a hundred times more  
10 comprehensive than it was in the mid-1980s.

11 MR. STUDWELL: A lot of things are much more  
12 comprehensive than they were in the '80s.

13 One question about a lot of very nice  
14 landscape architecture going on. When I looked at  
15 the facade, the face of the building, I noticed that  
16 there is really not a lot of access to this very  
17 pretty pond and area in there. I am wondering why  
18 that really wasn't considered as part of the overall  
19 space design.

20 MR. BOEHLKE: If you are referring to the  
21 stormwater area --

22 MR. STUDWELL: Yes.

23 MR. BOEHLKE: And the sisters are calling it  
24 their -- I guess they use the term private garden.

1 But there is access from here and access from here  
2 and access from here and a looped path. And it's  
3 concrete for accessibility. So I guess we thought  
4 it was pretty accessible. This walk links over to  
5 the front door and links all the way around, and  
6 then there is a link here over to Nazareth if they  
7 use the chapel. Over here we actually linked across,  
8 and we are working on an easement over here, a  
9 sidewalk up through here to Bethlehem Woods and then  
10 a sidewalk here that kind of goes out over into the  
11 Bethlehem Woods sidewalk system.

12 MR. STUDWELL: When you look at the southern  
13 elevation and the western elevation of that building  
14 nothing stood out as saying -- you know, inviting  
15 you out to that space. And I just wondered -- And  
16 you have answered the question that there is some-  
17 thing at the intersection of the two wings  
18 essentially.

19 MR. BOEHLKE: Is that the dining area? This is  
20 the common dining space inside here. So there is an  
21 outdoor area for -- some small seating area and then  
22 a path around the native landscape storm basin.

23 MR. STUDWELL: Do you have any of the elevations  
24 available?

1 MR. BOEHLKE: I can find them if you give me a  
2 second.

3 MR. STUDWELL: Okay. The reason why I am asking  
4 is because I don't want to argue with the architect,  
5 but when I looked at the elevations initially I was  
6 actually kind of wondering why the windows seemed  
7 relatively small. And I know that you say that you  
8 have provided a good bit of glazing and window space,  
9 but my first reaction in looking at the drawings was  
10 wow, this is very institutionalized looking and I  
11 realized that you were going for more of a residential  
12 look. I live in a house right now that has a  
13 tremendous amount of glass, and I firmly believe in  
14 the quality of light and what it does for you in your  
15 living spaces. And I just wasn't -- I am not feeling  
16 the same thing that the architect was saying about  
17 that. So I am just wondering how we're relating to  
18 that garden space and everything else.

19 CHAIRMAN BOYD: As he tries to look at that do  
20 you have any other questions?

21 MR. STUDWELL: No, I am good.

22 CHAIRMAN BOYD: Thank you. Mr. Lampert, would  
23 you like to begin and ask questions of staff and get  
24 back to the elevations -- return back to that?

1 MR. LAMPERT: Thank you, Mr. Chairman. I  
2 actually wanted a couple of three points. Thank  
3 you again to everybody that presented tonight. It  
4 certainly was a very comprehensive review and  
5 presentation. So we definitely appreciate all the  
6 extra knowledge. Out of context reading the packet  
7 at home there's always these questions that come  
8 up. Certainly you painted a very nice picture of  
9 the idea behind the changes to the PUD.

10 I think the parking issues that we talked  
11 about or at least the concerns we talked about have  
12 been addressed so I appreciate the clarification on  
13 that.

14 The next question was regarding the light-  
15 ing and certainly also my colleagues' discussion  
16 about the sensitivity with the neighbors and the  
17 lighting with regard to Nazareth Academy. Just a  
18 question regarding light pollution. With the new  
19 lights I am curious if you can give me a number of  
20 the old -- the current number of light poles on the  
21 site versus the proposal of the new number of light  
22 poles, just sort of a perspective of additional  
23 light pollution or how close we are to the current  
24 situation. I guess a question for the applicant,

1 please.

2 MR. BOEHLKE: I will have to come up for that.  
3 Sorry, I wasn't prepared for that question. I can  
4 tell you it's going to be very, very close to the  
5 same number. Because if the height -- with the  
6 height remaining the same and about the same amount  
7 of surface -- parking surface to illuminate it's  
8 going to be very, very similar.

9 So I want to go back to your question  
10 about elevations. We have those up now. And then  
11 we will work on your question about the number of  
12 light poles. We will try to work on that right now.  
13 We'll take a look at that.

14 As far as elevations -- I'm sorry. I  
15 didn't mean to go back. Now that we have those up --  
16 You want to take that?

17 MR. TAYLOR: I can again. Robert Taylor. I  
18 can provide a comment about that. It's hard to see  
19 in this elevation because of the bump-out in the  
20 wing. There is a bump-out right here. But right  
21 here is a door and a window. This window leads into  
22 the livingroom, and at that corner is their dining  
23 room, livingroom, kitchen area. So there is basically  
24 an L shape that makes up the kitchen, the dining room

1 and the livingroom. So they have visibility out of  
2 that area directly into the living space -- out into  
3 that garden space.

4 In terms of window size I can pull up the  
5 dimension of the windows. But we're required as an  
6 assisted living facility and as a residential use to  
7 have a certain percentage of daylight. We exceed  
8 those requirements in terms of what is deemed a  
9 healthy environment for that use.

10 I am just pulling up -- bear with me --  
11 the window dimensions. So the windows are fairly  
12 sizable. They're five feet tall approximately by  
13 seven foot wide of triple bay windows and approximately  
14 four foot seven and a half in width and five foot  
15 tall at the double windows. So each resident unit  
16 is essentially a pair of these between the bedroom  
17 and the living space. So that provides the lighting.  
18 Again in terms of use of that room having an entire  
19 wall occupied by windows is not typically desirable  
20 for a living space. Having wall space is also  
21 important. But we did make sure we provided large  
22 windows to provide ample light into the space.

23 In terms of the light poles I just provided  
24 a brief comment on the height. You are actually

1 decreasing the number of light poles required by  
2 increasing the height. So if you were to go down to  
3 the zoning regulated height you would have an  
4 increase in the number of poles. And that does not  
5 relate to light pollution. And I can't say that  
6 number of light poles or height of light poles relate  
7 in any way to light pollution. Light pollution would  
8 be a matter of light leaving the site and light going  
9 upwards. These are all down lights lighting on the  
10 site. So there is no upward lighting.

11           And then the light levels. There was a  
12 question from, I think, the first individual who  
13 commented on foot candles. I think I heard -- I  
14 didn't have the calculations on the foot candles. I  
15 think I heard it was 1.5 foot candles at the  
16 perimeter of the site.

17           MR. STUDWELL: 1.3.

18           MR. TAYLOR: So a foot-candle is a -- how it  
19 was measured is a one-foot-tall candle with a flame  
20 measuring the light it puts out one foot away from  
21 it. So 1.3 is a pretty insignificant value. Does  
22 that give some context to those questions?

23           MR. STUDWELL: Yes. Thank you.

24           CHAIRMAN BOYD: Thank you. Back to Mr. Lampert.

1 Anything else?

2 MR. LAMPERT: Yes, thank you, Mr. Chairman. I  
3 appreciate the clarification regarding the light.  
4 Certainly my comments and questions regarding light  
5 pollution was not necessarily to the universe. It  
6 was more to the residents and the neighbors. But  
7 thank you for that understanding.

8 My last question actually is for staff. I  
9 am wanting to discuss if I could, Paul, probably  
10 directing to you Exhibit M, the stormwater calcula-  
11 tions submitted by Eriksson Engineering. I just  
12 wanted to get staff's interpretation. And certainly  
13 as flooding issues in the village is always a hot  
14 topic I am just curious about your take on their  
15 report and assessment.

16

17 P A U L F L O O D,  
18 having been first duly sworn, testified as follows:

19 It went through several iterations. And  
20 it was jointly reviewed by the Village of LaGrange  
21 Park but also by the Village of LaGrange because the  
22 sisters' current building and proposed one all tie  
23 into the Village of LaGrange stormwater. Actually  
24 it's a combined sewer system. So in order for them

1 to obtain the permit from the MWRD ultimately both  
2 the Village of LaGrange Park and the Village of  
3 LaGrange will have to be signatories to it. So,  
4 therefore, we both got a bite at the apple so to  
5 speak.

6           And what is going on here is the MWRD also  
7 in the interim period has taken over overall storm-  
8 water management responsibilities for the county or  
9 at least the area of the county that's serviced by  
10 them. So they have actually all three entities to  
11 comply with, Village of LaGrange, Village of LaGrange  
12 Park and Metropolitan Water Reclamation District.  
13 And working through that I think a nice general  
14 statement would be that they do comply. There are  
15 some devil in the details elements that are still  
16 being resolved I think with the Village of LaGrange  
17 and the applicant at this point, but I think the  
18 heavy lifting so to speak is complete at this point.

19           When the original PUD was approved the  
20 village did not have a stormwater ordinance for them  
21 to comply with. So to be honest virtually anything  
22 they did would improve on the status quo. And that's  
23 the case here. They have done, I think, a very  
24 responsible job of complying with the rules. There

1 are two components of this, the amount of water  
2 generated from this site, but what's more important  
3 to both LaGrange as the receiver of the water and us  
4 as good stewards is the rate at which the water is  
5 released. That's a concern to us and LaGrange. I  
6 want to make sure I make it clear it's their sewer  
7 so we are sensitive to them as well. And they will  
8 comply with that.

9           The whole purpose of the detention is so  
10 that the water that's generated from the site is  
11 released into the sewer in a responsible way and in  
12 hope that the capacity would be available in a  
13 combined sewer to accept those flows. And how that's  
14 achieved is done differently in different places.  
15 In this particular case they have got a private garden  
16 that is functioning in that role for them. It's a  
17 very elegant way of doing it. So I think they will  
18 improve on the current situation with the proposed  
19 development there.

20           MR. LAMPERT: Nothing further, Mr. Chairman.  
21 Thank you.

22           CHAIRMAN BOYD: Mr. Lee?

23           MR. LEE: The materials that were given to us  
24 were certainly voluminous but all very insightful.

1 So I thank you to the staff and applicant for being  
2 so thorough in what you all provided.

3 I was primarily interested in hearing the  
4 concerns from others in the room. But hearing no  
5 one say very much I would just assume that most people  
6 in the room don't have any significant issues with  
7 what the sisters are planning on doing. I have less  
8 concerns around the parking and the lighting than  
9 fellow committee members may have.

10 A couple follow-ons I would have. It seems  
11 that it's the sisters who are impacted the most by  
12 the parking and the lighting. And they're obviously  
13 very thoughtful and deliberate with the number of  
14 spaces that they wanted. It's at the level that  
15 would be useful for their facility. My question  
16 maybe to staff would be in a PUD like this how much  
17 consideration is given not to maybe the current use  
18 but if there is ever to be a future use. Say twenty  
19 years down the road the sisters -- say they want to  
20 change facilities and we have buildings there that  
21 are intentionally short on parking spaces compared  
22 to what you would normally have. Is there any  
23 consideration given to that or will we just cross  
24 that bridge when we come to it?

1 MS. RODMAN: It's a question. We look at  
2 parking really with any use based on what the current  
3 use is. It's difficult to make assumptions about  
4 how those uses may change in the future. And so  
5 the way the zoning code is written is to calculate  
6 parking based on current uses. If the use of the  
7 facility were to change in the future in a way that  
8 required some sort of physical modification to the  
9 site that would trigger zoning approval again. So  
10 it would provide the village and the zoning board  
11 and village board at that time the opportunity to  
12 review those changes for compliance with whatever  
13 the code may be at that time and make a determination  
14 as to whether or not they felt that was appropriate.

15 MR. LEE: Okay.

16 CHAIRMAN BOYD: Ms. Keating has one comment.

17 MS. KEATING: I believe also if the use of the  
18 site were to change -- either from the present south  
19 side of the site or the sisters' side of the site  
20 change to a condominium building or a regular  
21 apartment building, that would trigger an application  
22 to revise the PUD because then we would have different  
23 parking calculations. It would be a different  
24 population using the facility, they would need a lot

1 more parking and we would require them to come before  
2 us.

3 CHAIRMAN BOYD: Good observation. Physical  
4 change or change in use.

5 MS. RODMAN: Right. There is a specific  
6 section -- thank you -- under the PUD standards that  
7 talks about a substantial change in use such as  
8 conversion to condominiums or something which does  
9 trigger approval again.

10

11 DEAN MAGGOS,  
12 having been first duly sworn, testified as follows:

13 I just want to say this process kind of  
14 cleans up some of what has taken place over the last  
15 thirty years. That six-story has multiple uses. It  
16 was originally residential uses; it converted to  
17 offices. At least this cleans it up to truly a  
18 residential use of that two-story building.

19 MR. LEE: The other question I had related to  
20 lighting. It is obvious that the sisters would be  
21 amenable to this lighting plan. Nazareth is probably  
22 more irrelevant not meeting at night and there not  
23 being students and faculty from the school, and  
24 Presence signed off saying they're okay with the

1 lighting plan. I didn't hear anything about what is  
2 the impact to Ogden and the neighbors across from  
3 Ogden. You were talking about leakage of the light.  
4 I don't  
5 think I heard what the impact was.

6 MS. RODMAN: I can jump in and then let them  
7 jump in. But essentially there is no impact because  
8 they are not changing the lighting. The furthest  
9 south that the lighting is physically located on  
10 the site is, I believe, near the ring road and  
11 they're not changing any lighting in that area. And  
12 they're so far away from Ogden where street lights  
13 and things kick in that there will be no spillover  
14 to the south.

15 MR. BOEHLKE: Yeah, the lighting -- As was  
16 just stated there is no change in the lighting from  
17 the edge of the ring road here toward Ogden. The  
18 photometric plan -- They can only do photometrics  
19 for the new lighting. So the photometric which is  
20 the light measurement of light levels after the  
21 project is done, the light levels on Ogden and across  
22 the street aren't going to change at all because any  
23 of the new lights up here will be at zero before  
24 they would ever get near Ogden as far as the light

1 levels. So the existing lights that are there would  
2 remain the same.

3           And I do have an answer for your question  
4 about how many light poles. There are -- And I  
5 have been illuminated on why this has changed. As  
6 far as we could count on the plans that we have  
7 there's about eight light poles right now and we are  
8 going to about 15 light poles. And the reason being  
9 that the new standards for lights are so down lit  
10 and for the LEED standards and I am sure the village  
11 standards. Almost every community now has restrictions  
12 that they didn't have ten or fifteen or twenty years  
13 ago. So there's actually going to be more poles. I  
14 will state again I don't think the light levels are  
15 going to be much different than are there now. It's  
16 just more -- it's directed down. And I would think  
17 your ordinance --

18           MS. RODMAN: Our code does require they're  
19 fully shielded with the result the light is directed  
20 downward.

21           MR. BOEHLKE: The lights that are out there now  
22 weren't at that same standard. So that's why the  
23 increase in number of poles.

24           MR. LAMPERT: Thank you.

1 MR. LEE: I have nothing further, Mr. Chairman.

2 CHAIRMAN BOYD: Well, Mr. Boehlke, you are  
3 doing well. Don't sit down quite yet. I'm sorry.  
4 The only question I would like to ask you is do you  
5 have a picture that shows the facade of the new  
6 building that's the part that's closest to Ogden,  
7 the bottom of the T so to speak?

8 MR. BOEHLKE: Sorry. I am not an expert on  
9 this here and this is not my computer.

10 MR. TAYLOR: This right here is the end of the  
11 wing.

12 CHAIRMAN BOYD: Okay. I see. I understand now.  
13 Thank you. So it's not the whole long part; it's  
14 that little part you just pointed out. Okay. That's  
15 all I have.

16 Do any Zoning Board of Appeals members  
17 have any question for staff or the applicant?

18 MR. STUDWELL: I have one last question. Is  
19 there any light going against the building itself  
20 to illuminate the building or is that not going to  
21 happen?

22 MR. BOEHLKE: I guess we'd have to look at the  
23 details of our architectural plans for that. My  
24 sense is they will be at the doorways. But I don't

1 think there is any -- There is certainly not going  
2 to be any excessive lights because we're meeting  
3 LEED standards. So we are not going to be looking  
4 for flashiness or anything like that. But at the  
5 doorways obviously and again they're going to be  
6 down lit. So I guess that's the best I can answer  
7 that question. We certainly can get you a more  
8 detailed answer if you need it.

9 MR. STUDWELL: That will be fine. Thank you.

10 CHAIRMAN BOYD: Anyone else have anything they  
11 would like to add? I would like a motion from the  
12 Zoning Board of Appeals to close the public hearing.

13 MS. DOMAGALSKI: So moved.

14 CHAIRMAN BOYD: Second?

15 MR. LAMPERT: Second.

16 CHAIRMAN BOYD: Any discussion? All in favor  
17 to close the public hearing say aye.

18 (A voice vote was taken.)

19 CHAIRMAN BOYD: Any opposed? All right. So  
20 the public hearing is closed.

21 (Which were all the proceedings had  
22 and testimony taken at the public  
23 hearing of the above-entitled cause.)

24



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# Village Board Agenda Memo

**Date:** October 11, 2016

**To:** Village President & Board of Trustees

**From:** Emily Rodman, Assistant Village Manager 

Julia Cedillo, Village Manager 

**RE:** Sisters of St. Joseph & T-Mobile – SPECIAL USE PERMIT & VARIATION [#2016-05]

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## GENERAL BACKGROUND

T-Mobile and AT&T currently have wireless communication equipment located on the rooftop of the six-story building located at 1515 W. Ogden Avenue (the “H” building or motherhouse owned by the Sisters of St. Joseph of La Grange). The Sisters are proposing to deconstruct the existing building and construct a two-story building in its place (part of a separate Application for an Amendment to a PUD). The height of the two-story building will be insufficient for the two existing telecommunication providers. As a result, T-Mobile has submitted an application for a Special Use Permit to construct a monopole telecommunications tower and an Application for a Variation to exceed the maximum allowable height of a telecommunications tower by 25’.

The proposed tower will be located on property owned by the Sisters generally located north of the existing parking lot between the Nazareth Academy softball field and the football field. The property is zoned I Institutional District. Construction of a new telecommunication tower in this zoning district requires a special use permit per the Village’s Zoning Code.

## DEVELOPMENT PROPOSAL

The proposed tower will be a monopole structure designed to accommodate three wireless carriers, per the Village’s Zoning Code requirements. The proposed tower is 120’ tall, with a 5’ lighting rod, for a total height of 125’. The Applicant is requesting a variation from the maximum permitted height of a telecommunications tower which is 100’ to allow for the construction of the 125’ tower. The applicant is also requesting the required fall zone setback be eliminated as the tower is designed to a zero fall radius.

While the application materials reference installations for both T-Mobile and AT&T, only the installation of the T-Mobile equipment is being considered at this time. AT&T submitted a separate Site Plan Review application which was considered by the ZBA on September 20, 2016. The ZBA approved the application (4-0) subject to the Village Board approving the underlying Special Use Permit for the wireless communications tower.

## STAFF RECOMMENDATION

The proposed telecommunication tower meets the standards set forth in the Zoning Code for Special Use Permits. The proposed location is as far as feasible from adjacent single-family properties to minimize the visual impact of the tower. The proposed tower height is necessary in order to provide adequate coverage

to the service area and to meet the Village's minimum co-location requirements. The tower has been designed to a zero-fall radius, should the tower fail, as certified by State of Illinois Professional Engineer.

#### **MOTION/ACTION REQUESTED**

This item is being placed on the agenda for discussion only. If there is consensus by the Village Board, it will be placed on the October 24, 2016 Village Board Meeting agenda.

The Zoning Board of Appeals, by a vote of 6-0, recommended approval to the Village Board of Trustees of a Special Use Permit for a wireless telecommunications tower and a Variation to allow the telecommunications tower to be constructed to a height of 125'.

***Motion to Approve an Ordinance Granting a Special Use Permit for a Wireless Telecommunications Tower and Granting a Variation for 1515 W. Ogden Avenue – Sisters of St. Joseph of La Grange and T-Mobile Central, LLC – Public Hearing #2016-05***

#### **DOCUMENTATION**

- Ordinance Approving a Special Use Permit & Variation
- Public Hearing Transcript – Hearing #2016-05
- Zoning Board of Appeals Agenda Memo – August 16, 2016 (previously provided in hard copy – will be pushed out electronically separately from agenda packet and posted on Village's website separately)

**ORDINANCE NO. \_\_\_\_\_**

**MOTION TO APPROVE AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR A WIRELESS TELECOMMUNICATIONS TOWER AND GRANTING A VARIATION FOR 1515 W. OGDEN AVENUE – SISTERS OF ST. JOSEPH OF LA GRANGE AND T-MOBILE CENTRAL, LLC (CASE #2016-05)**

**WHEREAS**, NTP Wireless on behalf of T-Mobile Central, LLC (Applicant) on or about April 29, 2016, filed an Application for a Special Use Permit and an Application Variation (Applications) to construct a 125' wireless telecommunications facility on property located at 1515 W. Ogden Avenue, referred to as "Subject Property" legally described and attached hereto as Exhibit A; and

**WHEREAS**, a public hearing was held before the Zoning Board of Appeals of the Village of La Grange Park, Illinois, on August 16, 2016, pursuant to notice and publication as required by law; and

**WHEREAS**, the public hearing was opened at approximately 7:00 p.m. on August 16, 2016, and pursuant to a unanimous vote of the members of the Zoning Board of Appeals; on August 16, 2016 the public hearing was concluded; and

**WHEREAS**, with respect to the Applications, based upon documentary evidence and testimony presented by the Applicant and members of the public, the Zoning Board of Appeals recommended the Village Board of Trustees grant approval of the Applications, based upon certain Findings of Fact, adopted by the Zoning Board of Appeals on September 20, 2016 (true and correct copies of which Findings of Fact are attached to this Ordinance as Exhibit B and incorporated herein by reference as if fully set forth herein); and

**WHEREAS**, the President and Board of Trustees of the Village of La Grange Park have reviewed the Applications, hearing transcripts and Findings of Fact, and have publicly discussed this issue at a regularly scheduled meeting on October 11, 2016, and based upon those materials, have concluded that it is in the best interests of the Village to grant the Applications.

**NOW, THEREFORE, BE IT ORDAINED** by the President and Board of Trustees of the Village of La Grange Park, Cook County, Illinois as follows:

**SECTION 1:** That the Application for a Special Use Permit for a wireless telecommunication tower is hereby granted in accordance with the T-Mobile improvement plans for site no. CH92341A, prepared by W-T Communication Design Group, LLC, consisting of twenty-seven (27) sheets, identified as Job No. T1505246, dated June 17, 2016 and attached hereto as Exhibit C.

**SECTION 2:** That the required fall zone setback may be eliminated.

**SECTION 3:** That a variation from Section 11.3.R.4 of the Zoning Code is hereby granted to allow a wireless communication tower to be erected up to one hundred and twenty five feet (125') in height.

**SECTION 4:** That this Ordinance shall become effective and shall be in full force and effect from and after its passage subject to compliance with the conditions set forth herein.

**SECTION 5:** That this Ordinance shall be recorded against the property listed in Exhibit A and the terms and conditions of this Ordinance shall be deemed covenants running with the land.

ADOPTED BY THE PRESIDENT AND BOARD OF TRUSTEES of the Village of La Grange Park, Cook County, Illinois, this 25<sup>th</sup> day of October, 2016.

\_\_\_\_\_  
James L. Discipio, Village President  
Village of La Grange Park

ATTEST: \_\_\_\_\_  
Amanda G. Seidel, Village Clerk

Vote taken by the Board of Trustees on passage of the above ordinance:

AYES:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

NOS:

\_\_\_\_\_  
\_\_\_\_\_

CERTIFIED TO BE CORRECT:

\_\_\_\_\_  
Amanda G. Seidel  
Village Clerk

*Approved as to form by Village Attorney: 9/27/16*

**EXHIBIT A**  
**LEGAL DESCRIPTION**

Tract B – 15-32-400-013

Tract F – 15-32-400-017

Tract D north part – 15-32-400-019

**Lot 1**

TRACTS B AND F IN BETHLEHEM WOODS RETIREMENT LIVING CENTER PLANNED UNIT DEVELOPMENT, BEING A SUBDIVISION OF LOT 2 IN SISTERS OF ST. JOSEPH OF LAGRANGE SUBDIVISION NO. 1, PART OF THE WEST ½ OF THE SOUTH EAST ¼ OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 18, 1989 AS DOCUMENT 89028253, IN COOK COUNTY, ILLINOIS;

ALSO TRACT D IN BETHLEHEM RETIREMENT LIVING CENTER PLANNED UNIT DEVELOPMENT, BEING A SUBDIVISION OF LOT 2 IN SISTERS OF ST. JOSEPH OF LAGRANGE SUBDIVISION NO. 1, PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 18, 1989 AS DOCUMENT 89028253 EXCEPT THAT PART OF TRACT D DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEASTERLY CORNER OF SAID LOT 2; THENCE NORTH 9 DEGREES 05 MINUTES 25 SECONDS EAST, ALONG THE EASTERLY LINE OF SAID LOT 2, 339.43 FEET TO AN ANGLE IN THE EAST LINE OF SAID LOT 2; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS WEST, 291.97 FEET TO THE SOUTHEAST CORNER OF TRACT D AND THE POINT OF BEGINNING; THENCE NORTH 81 DEGREES 06 MINUTES 42 SECONDS WEST 322.49 FEET; THENCE NORTH 8 DEGREES 53 MINUTES 18 SECONDS EAST, 53.0 FEET; THENCE NORTH 41 DEGREES 06 MINUTES 42 SECONDS WEST, 64.75 FEET; THENCE SOUTH 81 DEGREES 06 MINUTES 42 SECONDS EAST, 357.29 FEET TO A POINT ON THE EASTERLY LINE OF SAID LOT 2; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 95.77 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

ALSO LOT 1 IN SISTERS OF ST. JOSEPH OF LAGRANGE SUBDIVISION NO. 1, PART OF THE WEST ½ OF THE SOUTH EAST ¼ OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 18, 1989 AS DOCUMENT 89028253, IN COOK COUNTY, ILLINOIS.

**EXHIBIT B**  
**FINDINGS OF FACT**

**FINDINGS OF FACT**  
**VILLAGE OF LA GRANGE PARK ZONING BOARD OF APPEALS**  
**SPECIAL USE PERMIT & VARIATION**  
**1515 W. OGDEN AVENUE**  
**CASE #2016-05**

**WHEREAS**, NTP Wireless on behalf of T-Mobile Central, LLC (Applicant) on or about April 29, 2016, filed an application for a Special Use Permit and Variation to construct a 125' wireless telecommunications facility on property located at 1515 W. Ogden Avenue, referred to as "Subject Property"; and

**WHEREAS**, a public hearing was held before the Zoning Board of Appeals of the Village of La Grange Park, Illinois, on August 16, 2016, pursuant to notice and publication as required by law; and

**WHEREAS**, the public hearing was opened at approximately 7:00 p.m. on August 16, 2016, and pursuant to a unanimous vote of the members of the Zoning Board of Appeals; on August 16, 2016 the public hearing was concluded; and

**WHEREAS**, with respect to the Application for Special Use Permit and Variation, based upon documentary evidence and testimony presented by the Applicant and members of the public, the Zoning Board of Appeals makes the following Summary of Facts, and pursuant to Section 4.4E of the La Grange Park Zoning Code, makes the following Findings of Fact:

**SUMMARY OF FACTS**

The Applicant and AT&T currently have wireless communication equipment located on the rooftop of the six-story building located at 1515 W. Ogden Avenue, commonly referred to as the "H" building owned by the Sisters of St. Joseph of La Grange (Sisters). The Sisters are proposing to deconstruct the existing building and construct a two-story building in its place (part of a separate Application for an Amendment to a PUD). The height of the two-story building will be insufficient for the two existing telecommunication providers. As a result, the Applicant is proposing to construct a monopole telecommunications tower and associated ground equipment. The proposed tower will be located on property owned by the Sisters generally located north of the existing parking lot between the Nazareth Academy softball field and the football field. The property is zoned I Institutional District. The proposed tower will be designed to accommodate three wireless carriers, per the Village's Zoning Code requirements. The proposed tower is 120' tall, with a 5' lighting rod, for a total height of 125'. The structure will be located within a 35' by 40' ground area leased by the Sisters to various telecommunications providers ("leased area"), which will be secured by a six foot high chain link fence. The leased area will house cabinets and associated equipment for the telecommunication providers. Access to the tower and associated equipment will be restricted to those entities that lease space on the tower and secured via a locked gate. A paved access drive will be constructed adjacent to the existing parking lot to provide vehicular access to the tower. The leased area will be screened by a combination of deciduous and evergreen trees. An access easement has been proposed that will run across the entire length of the Sisters' property, from Ogden Avenue to the leased area. The easement will grant rights to all carriers on the tower for ingress/egress to the leased area.

## FINDINGS OF FACT - Special Use Permit

- 1. The establishment, maintenance and operation of the special use in the specific location proposed will not endanger the public health, safety or general welfare of any portion of the community.**

The proposed tower and wireless telecommunication equipment will not endanger the public, health, safety or general welfare of the community. T-Mobile is in compliance with the Federal Communication Commission (FCC) standards for the operation of its equipment. The EME/RF Health & Safety Compliance Report demonstrates compliance with FCC standards. The proposed use will enhance existing wireless coverage in the community and access to service, thereby providing a public health and safety benefit.

- 2. The proposed special use is compatible with adjacent properties and/or other properties within the immediate vicinity of the special use.**

The location of the proposed tower was selected to minimize the aesthetic impact on neighboring properties. The proposed location is as far north from Ogden Avenue as possible, to minimize visibility from the public right-of-way and adjacent residential homes. The property to the north and west of the proposed location is owned by the Forest Preserve of Cook County. The property to the east of the proposed tower is leased by Nazareth Academy and includes the football field. The field has existing light poles that are 70' and 80' in height. The proposed tower, although taller than the light poles, will be placed further west and therefore will have a minimal aesthetic impact on neighboring property owners to the east.

- 3. The special use in the specific location proposed is consistent with the spirit and intent of this Code and the Comprehensive Plan.**

The Village's Comprehensive Plan does not address wireless telecommunication facilities. Section 11.3.R of the Zoning Code establishes standards for wireless telecommunication towers and equipment, which include:

- a. Ensure public health, safety, convenience, comfort and general welfare.*  
As previously noted, the proposed tower will be in compliance with FCC standards and will enhance public health, safety, and convenience and general welfare.
- b. Ensure access to reliable wireless telecommunications services throughout the Village.*  
Should the requested Amendment to the Bethlehem Woods Retirement Living Center PUD be approved, the existing T-Mobile and AT&T equipment installations will be removed. Construction of the proposed tower will allow for the existing service to continue and be enhanced. The reliability of service will be negatively impacted if the Applicant is not allowed to relocate its existing wireless telecommunication equipment.

- c. *Encourage the use of existing towers and other structures for the colocation of wireless telecommunication antenna.*

The Applicant has demonstrated that there are no other structures within a 1 mile radius that could adequately house the wireless telecommunication equipment (Exhibit "I" of Application). The proposed tower is being constructed in a manner that will support the colocation of three carriers, as required by the Zoning Code.

- d. *Encourage the location of towers, to the extent possible, in areas where the adverse impact on the Village will be minimal and preferably in non-residential, as opposed to residential, districts.*

The proposed tower location is on property zoned as I Institutional District and located as far from public right-of-way and single-family residences as possible. The proposed location is the only location within a 1 mile radius that meets the minimum coverage needs for the wireless telecommunication carriers.

- e. *Minimize the potential adverse effects associated with the construction of wireless telecommunication towers through implementation reasonable design, landscaping and construction practices.*

The proposed tower will be located on a parcel that is adjacent to the Forest Preserve of Cook County on two sides (north and west). The proposed plan includes fencing and landscaping that comply with the screening requirements of the Zoning Code.

**Regarding the request for a Special Use Permit outlined above, the Zoning Board of Appeals voted as follows:**

**AYES:** Boyd, Domagalski, Lampert, Lee, Studwell

**NAYS:** None

**ABSENT:** Griffin

#### **FINDINGS OF FACT - Variation**

- a. **The strict application of the terms of the Zoning Code will result in undue hardship unless the specific relief requested is granted.**

The Applicant is requesting a variation from the maximum permitted height of a telecommunications tower which is 100' to allow for the construction of a 125' tower. The Applicant asserts that if the variation is not granted and the tower were to be constructed in strict conformance with the Zoning Code, 25% of the Applicant's coverage area will not have sufficient wireless coverage. Additionally, without the variation, co-locating carriers will also be unable to provide adequate coverage to the area. The Applicant's need to relocate its equipment is not self-created and the proposed located was chosen to minimize the aesthetic impact of the tower from

the right-of-way and neighboring single-family homes. The increased distance of the tower from the existing equipment location, coupled with the change in grade from the south to the north end of the site, necessitate the need for a taller tower. Section 11.3.R.4 of the Zoning Code states "A tower may exceed the maximum height if the Village finds that the exception is necessary for colocation purposes."

- b. The plight of the owner is due to unique circumstances inherent to the subject property and not from the personal situation of the owner.**

The need to construct the proposed wireless telecommunication tower is predicated on the deconstruction of the six-story structure ("H" building) at the Sisters of St. Joseph of La Grange complex, which current houses the Applicant's telecommunication equipment. It is through no fault of the Applicant that the equipment must be relocated.

- c. The variation, if granted, will not alter the essential character of the locality.**

The proposed height variance of 25' will have a negligible visual impact and will not alter the character of the neighborhood.

**Regarding the request for a Variation outlined above, the Zoning Board of Appeals voted as follows:**

**AYES:** Bartholomai, Boyd, Domagalski, Lampert, Lee, Studwell

**NAYS:** None

**ABSENT:** Griffin

**RESPECTFULLY SUBMITTED** this 20<sup>th</sup> day of September, 2016.

**VILLAGE OF LAGRANGE PARK  
ZONING BOARD OF APPEALS**

By: William W. [Signature] 9/20/16

**EXHIBIT C**  
**T-MOBILE IMPROVEMENT PLANS**

# T-Mobile® stick together®

**SITE NUMBER:** CH92341A

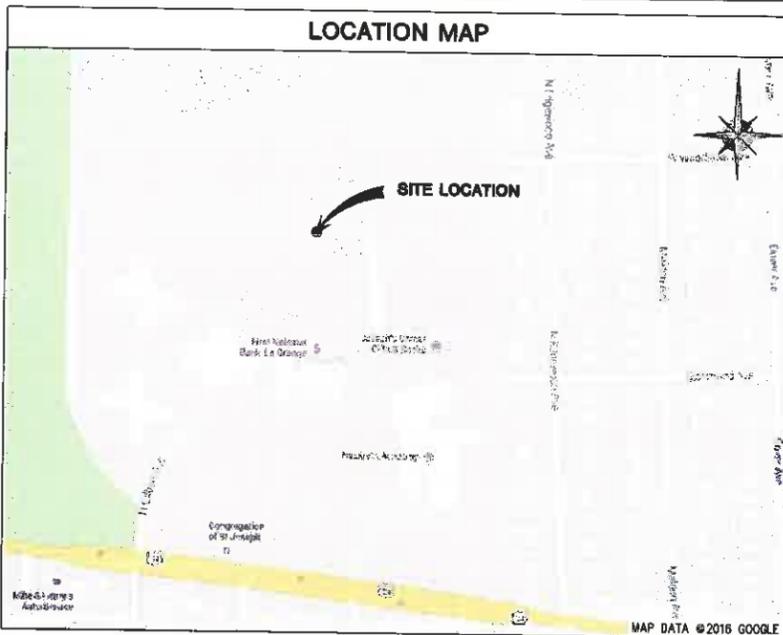
**JURISDICTION:** VILLAGE OF LA GRANGE PARK

**SITE NAME:** SISTERS OF ST. JOSEPH

**CITY:** LA GRANGE PARK

**SITE TYPE:** MONOPOLE

**COUNTY:** COOK COUNTY



**PROJECT DESCRIPTION**

INSTALL T-MOBILE EQUIPMENT CABINET ON NEW PLATFORM AT GRADE. NO NEW WATER OR SEWER IS REQUIRED AS FACILITY IS UNMANNED.

**INITIAL BUILD OUT:**

2 NEW ANTENNAS, 1 HCS, 4 COVPS, 2 CABINET, 10 RRU MODULES, 4 SYSTEM MODULES AT&T EQUIPMENT & PUBLIC SAFETY EQUIPMENT

**CONTACTS**

**APPLICANT**  
T-MOBILE USA  
8550 BRYN MAWR AVE., SUITE 100  
CHICAGO, ILLINOIS 60631  
TEL: (773) 444-5400  
CONTACT: TBD

**PROPERTY OWNER CONTACT:**  
SISTERS OF SAINT JOSEPH  
1515 W OGDEN AVE.  
LA GRANGE PARK, IL 60526

**SHEET INDEX**

SHEET NUMBER:	DESCRIPTION:
T-1	TITLE SHEET
T-2	GENERAL NOTES & SPECIFICATIONS
T-3	GENERAL NOTES & SPECIFICATIONS
LS-1 THRU LS-3	LAND SURVEY
C-1	OVERALL SITE PLAN
C-2	ENLARGED SITE PLAN
C-3	EQUIPMENT ELEVATIONS
C-4	ICE BRIDGE, GPS & SITE DETAILS
C-5	FENCE DETAIL
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS
A-1	ELEVATION
A-2	ANTENNA PLAN
A-3	EQUIPMENT SPECIFICATIONS
A-3.1	EQUIPMENT SPECIFICATIONS
A-4	RF DATA SHEET
A-5	RISER DIAGRAM
A-6	ANTENNA CONFIGURATION SHEET
E-1	UTILITY PLANS
E-2	H-FRAME & UTILITY DETAILS
E-3	UTILITY RISER DIAGRAM & PANEL SCHEDULE
GR-1	GROUNDING PLAN
GR-2	GROUNDING PLANS
GR-3	GROUNDING DETAILS
GR-4	GROUNDING DETAILS
SG-1	OSHA SIGNAGE
PSE-1 THRU PSE-3	PLATFORM SHEETS (PROTOTYPICAL)
C-1.0	SITE DEMOLITION PLAN
C-2.0	SITE DEVELOPMENT PLAN
C-3.0	SITE GRADING PLAN
C-4.0	STORMWATER POLLUTION PREVENTION PLAN
C-5.0	CONSTRUCTION DETAILS
C-6.0	PROJECT SPECIFICATIONS
C-6.1	PROJECT SPECIFICATIONS

**PROJECT LOCATION**

**COORDINATES (NAD83):**  
LAT: 41° 49' 21.47"  
41.822631°  
LONG: -87° 53' 14.92"  
-87.887478°  
AMSL: 637.00'

**SITE ADDRESS:**  
1515 OGDEN AVENUE  
LA GRANGE PARK, IL 60526

DATA OBTAINED FROM 1A DATED 07/01/16

**UTILITIES**

**ELECTRIC:**  
COMED  
TEL: TBD  
CONTACT: N/A

**TELEPHONE:**  
AT&T  
TEL: TBD  
CONTACT: N/A

**PROPERTY SUMMARY**

**ASSESSOR'S PARCEL NUMBER (APN):**  
15 32 400 013 0000

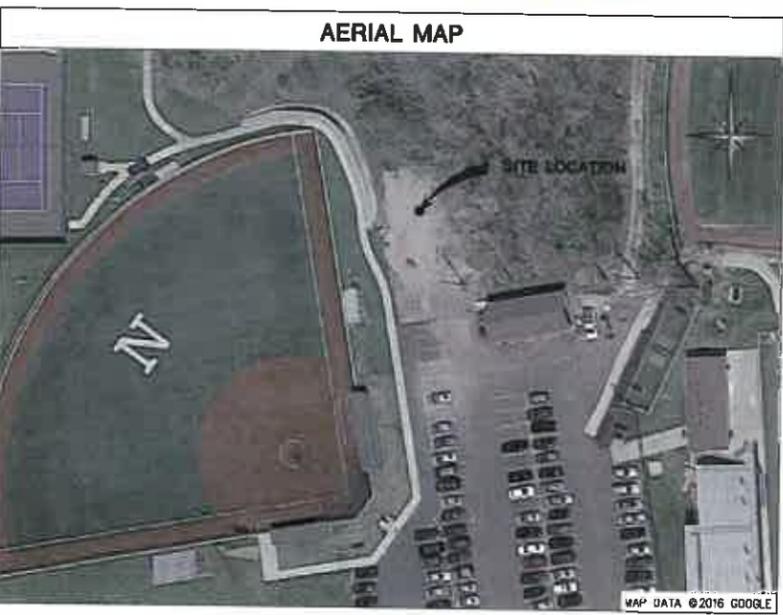
**ZONING:**  
VILLAGE OF LA GRANGE PARK

**DRIVING DIRECTIONS**

DIRECTIONS FROM O'HARE INTERNATIONAL AIRPORT:  
TAKE RAMP (RIGHT) ONTO I-190. TAKE EXIT 10 TOWARD I-294 S/INDIANA/S TOLLWAY. MERGE ONTO I-294 S. EXIT ONTO US-34 E/OGDEN AVE. MERGE ONTO US-34 E/OGDEN AVE. DESTINATION WILL BE ON THE LEFT. ARRIVE AT CH92341A - 1515 OGDEN AVENUE, LA GRANGE PARK, IL 60526.

**APPLICABLE CODES**

BUILDING CODE: 1996 BOCA BASIC NATIONAL BUILDING CODE  
ELECTRICAL CODE: 1996 NATIONAL ELECTRICAL CODE



**PROJECT TEAM**

**A&E**  
W-T COMMUNICATION DESIGN GROUP, LLC.  
2675 PRATUM AVENUE  
HOFFMAN ESTATES, IL 60192  
TEL: (224) 293-6333  
FAX: (224) 293-6444  
CONTACT: RYAN MADSEN

**SITE ACQUISITION**  
NTP WIRELESS  
320 WEST ERIE, SUITE 400  
CHICAGO, IL 60654

**CIVIL ENGINEERING**  
W-T CIVIL ENGINEERING, LLC.  
2675 PRATUM AVENUE  
HOFFMAN ESTATES, IL 60192  
TEL: (224) 293-6333  
FAX: (224) 293-6444

**STRUCTURAL ENGINEER**  
T.B.O.

**APPROVALS**

PENDING APPROVAL OF THE JURISDICTION, THE FOLLOWING PARTIES HAVE REVIEWED THE DESIGN WITHIN THEIR FUNCTIONAL RESPONSIBILITIES AND HAVE APPROVED THIS PROJECT FOR CONSTRUCTION. CONTRACTORS MAY NOT START CONSTRUCTION WITHOUT A NOTICE TO PROCEED (NTP) FROM T-MOBILE.

	PRINT NAME	SIGNATURE	DATE
LANDLORD			
PRECON. MGR			
DEVELOP. MGR			
CONST. INSP.			
A&E MGR			
RF ENGINEER			
OPERATIONS			
ZONING REP			
UTILITIES			

**T-Mobile® stick together®**  
8550 BRYN MAWR AVENUE, SUITE 100  
CHICAGO, ILLINOIS 60631

PLANS PREPARED BY:  
**W-T**  
**W-T COMMUNICATION DESIGN GROUP, LLC.**  
WIRELESS INFRASTRUCTURE  
2675 Pratum Avenue  
Hoffman Estates, Illinois 60192  
PH: (224) 293-6333 FAX: (224) 293-6444  
www.wtengr.com  
IL License No.: 154.006042 Exp: 04/30/17  
COPYRIGHT © 2016 W-T COMMUNICATION DESIGN GROUP, LLC.

SEAL:  
**062-047235**  
REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS  
JEFFERY GUTOWSKY  
PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
LICENSE # 062-047235  
EXPIRES: 11/30/2017 SIGNED: 08/01/16

**DATE: DESCRIPTION: BY: REV:**

DATE	DESCRIPTION	BY	REV
08/05/15	LEASE EXHIBIT	JTB	A
08/10/15	PER CLIENTS COMMENTS	DAY	B
08/27/15	REVISION	JS	C
09/02/15	REVISION	JS	D
12/09/15	REVISION	RSM	E
03/15/16	REVISION	SC	F
04/07/16	REVISION	NN	G
06/13/16	REVISION	KLS	H
06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	O

**SITE INFORMATION:**  
**CH92341A**  
**SISTERS OF ST. JOSEPH**  
1515 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

**SHEET TITLE:**  
**TITLE SHEET**

**SHEET NUMBER:**  
**T-1**

PLOT SCALE: 1:1 @ 11"x17"

**GENERAL REQUIREMENTS:**

- 1.1 INTENT
THESE SPECIFICATIONS AND CONSTRUCTION DRAWINGS ACCOMPANYING THEM DESCRIBE THE WORK TO BE DONE AND THE MATERIALS TO BE FURNISHED FOR CONSTRUCTION.
2. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED IN BOTH.
3. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS STIPULATED IN THE CONTRACT.
4. THE PURPOSE OF THE SPECIFICATIONS IS TO INTERPRET THE INTENT OF THE DRAWINGS AND TO DESIGNATE THE METHOD OF THE PROCEDURE, TYPE AND QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.
5. MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK. NO CHANGES THAT ALTER THE CHARACTER OF THE WORK WILL BE MADE OR PERMITTED BY THE OWNER WITHOUT ISSUING A CHANGE ORDER.

- 1.2 CONFLICTS
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSION WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE OWNER FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREAS.
2. THE BIDDER, IF AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY MATTER OR THING CONCERNING WHICH SUCH BIDDER MIGHT HAVE FULLY INFORMED THEMSELVES PRIOR TO THE BIDDING.
3. NO FLEA OF ENCOURAGEMENT OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES OR CONDITIONS THAT MAY BE ENCOUNTERED OR OF ANY OTHER RELEVANT MATTER CONCERNING THE WORK TO BE PERFORMED IN THE EXECUTION OF THE WORK WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS OF THE CONTRACT DOCUMENTS GOVERNING THE WORK.

- 1.3 CONTRACTS AND WARRANTIES
1. CONTRACTOR IS RESPONSIBLE FOR APPLICATION AND PAYMENT OF CONTRACTOR LICENSES AND BONDS.

- 1.4 STORAGE
1. ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY FASHION AND IN A MANNER THAT DOES NOT NECESSARILY OBSTRUCT THE FLOW OF OTHER WORK. ANY STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE ASSOCIATED MANUFACTURER.
2. THE BTS MUST BE STORED INSIDE UNTIL THERE IS POWER ON SITE.

- 1.5 CLEAN UP
1. THE CONTRACTORS SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR EMPLOYEES AT WORK AND AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE BUILDING AREA, INCLUDING ALL THEIR TOOLS, SCAFFOLDING AND SURPLUS MATERIALS AND SHALL LEAVE THEIR WORK CLEAN AND READY FOR USE.
2. EXTERIOR: VISUALLY INSPECT EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SMUDGES AND OTHER FOREIGN MATTER.
A. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
B. IF NECESSARY TO ACHIEVE A UNIFORM DEGREE OF CLEANLINESS, HOSE DOWN THE EXTERIOR OF THE STRUCTURE.
3. INTERIOR: VISUALLY INSPECT INTERIOR SURFACE AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SMUDGES AND OTHER FOREIGN MATTER FROM WALLS/FLOOR/CEILING.
A. REMOVE ALL TRACES OF SPLASHED MATERIAL FROM ADJACENT SURFACES.
B. REMOVE PAINT DROPPINGS, SPOTS, STAINS AND DIRT FROM FINISHED SURFACES.

- 1.6 CHANGE ORDER PROCEDURE
1. CHANGE ORDERS MAY BE INITIATED BY THE OWNER AND/OR THE CONTRACTOR INVOLVED. THE CONTRACTOR, UPON VERBAL REQUEST FROM THE OWNER SHALL PREPARE A WRITTEN PROPOSAL DESCRIBING THE CHANGE IN WORK OR MATERIALS AND ANY CHANGES IN THE CONTRACT AMOUNT AND PRESENT TO THE OWNER WITHIN 72 HRS FOR APPROVAL. SUBMIT REQUESTS FOR SUBSTITUTIONS IN THE FORM AND IN ACCORDANCE WITH PROCEDURES REQUIRED FOR CHANGE ORDER PROPOSALS. ANY CHANGES IN SCOPE OF WORK OR MATERIALS WHICH ARE PERFORMED BY THE CONTRACTOR WITHOUT A WRITTEN CHANGE ORDER AS DESCRIBED AND APPROVED BY THE OWNER SHALL PLACE FULL RESPONSIBILITY OF THESE ACTIONS ON THE CONTRACTOR.

- 1.7 RELATED DOCUMENTS AND COORDINATION
1. GENERAL CARPENTRY, ELECTRICAL AND ANTENNA DRAWINGS ARE INTERRELATED. IN PERFORMANCE OF THE WORK, THE CONTRACTOR MUST REFER TO ALL DRAWINGS. ALL COORDINATION TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

- 1.8 SHOP DRAWINGS
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AS REQUIRED AND LISTED IN THESE SPECIFICATIONS TO THE OWNER FOR APPROVAL.
2. ALL SHOP DRAWINGS SHALL BE REVIEWED, CHECKED AND CORRECTED BY CONTRACTOR PRIOR TO SUBMITTAL TO THE OWNER.

- 1.9 PRODUCTS AND SUBSTITUTIONS
1. SUBMIT 3 COPIES OF EACH REQUEST FOR SUBSTITUTION. IN EACH REQUEST IDENTIFY THE PRODUCT OR FABRICATION OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION. INCLUDE RELATED SPECIFICATION SECTION AND DRAWING NUMBERS AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS.
2. SUBMIT ALL NECESSARY PRODUCT DATA AND CUT SHEETS WHICH PROPERLY INDICATE AND DESCRIBE THE ITEMS, PRODUCTS AND MATERIALS BEING INSTALLED. THE CONTRACTOR SHALL, IF DEEMED NECESSARY BY THE OWNER SUBMIT ACTUAL SAMPLES TO THE OWNER FOR APPROVAL IN LIEU OF CUT SHEETS.

- 1.10 QUALITY ASSURANCE
1. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THESE SHALL INCLUDE BUT NOT BE LIMITED TO THE LATEST VERSION OF THE COOK COUNTY BUILDING CODE.

- 1.11 ADMINISTRATION
1. BEFORE THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR WILL ASSIGN A PROJECT MANAGER WHO WILL ACT AS A SINGLE POINT OF CONTACT FOR ALL PERSONNEL INVOLVED IN THIS PROJECT. THIS PROJECT MANAGER WILL DEVELOP A MASTER SCHEDULE FOR THE PROJECT WHICH WILL BE SUBMITTED TO THE OWNER PRIOR TO THE COMMENCEMENT OF ANY WORK.
2. SUBMIT A BAR TYPE PROGRESS CHART NOT MORE THAN 3 DAYS AFTER THE DATE ESTABLISHED FOR COMMENCEMENT OF THE WORK ON THE SCHEDULE, INDICATING A TIME BAR FOR EACH MAJOR CATEGORY OR UNIT OF WORK TO BE PERFORMED AT SITE, PROPERLY SEQUENCED AND COORDINATED WITH OTHER ELEMENTS OF WORK AND SHOWING COMPLETION OF THE WORK SUFFICIENTLY IN ADVANCE OF THE DATE ESTABLISHED FOR SUBSTANTIAL COMPLETION OF THE WORK.
3. PRIOR TO COMMENCING CONSTRUCTION, THE OWNER SHALL SCHEDULE AN ON-SITE MEETING WITH ALL MAJOR PARTIES. THIS WOULD INCLUDE (THOUGH NOT LIMITED TO) THE OWNER, PROJECT MANAGER, CONTRACTOR, LAND OWNER REPRESENTATIVE, LOCAL TELEPHONE COMPANY, TOWER ERECTION FOREMAN (IF SUBCONTRACTED).
4. CONTRACTOR SHALL BE EQUIPPED WITH SOME MEANS OF CONSTANT COMMUNICATIONS, SUCH AS A MOBILE PHONE OR A BEEPER. THIS EQUIPMENT WILL NOT BE SUPPLIED BY THE OWNER, NOR WILL WIRELESS SERVICE BE ARRANGED.
5. DURING CONSTRUCTION, CONTRACTOR MUST ENSURE THAT EMPLOYEES AND SUBCONTRACTORS WEAR HARD HATS AT ALL TIMES. CONTRACTOR WILL COMPLY WITH ALL SAFETY REQUIREMENTS IN THEIR AGREEMENT.
6. PROVIDE WRITTEN DAILY UPDATES ON SITE PROGRESS TO THE OWNER.
7. COMPLETE INVENTORY OF CONSTRUCTION MATERIALS AND EQUIPMENT IS REQUIRED PRIOR TO START OF CONSTRUCTION.
8. NOTIFY THE OWNER / PROJECT MANAGER IN WRITING NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, TOWER ERECTIONS, AND EQUIPMENT CABINET PLACEMENTS.

- 1.12 INSURANCE AND BONDS
1. CONTRACTOR SHALL AT THEIR OWN EXPENSE CARRY AND MAINTAIN FOR THE DURATION OF THE PROJECT ALL INSURANCE AS REQUIRED AND LISTED AND SHALL NOT COMMENCE WITH THEIR WORK UNTIL THEY HAVE PRESENTED AN ORIGINAL CERTIFICATE OF INSURANCE STATING ALL COVERAGES TO THE OWNER. REFER TO THE MASTER AGREEMENT FOR REQUIRED INSURANCE LIMITS.
2. THE OWNER SHALL BE NAMED AS AN ADDITIONAL INSURED ON ALL POLICIES.
3. CONTRACTOR MUST PROVIDE PROOF OF INSURANCE.

**TOWER & ANTENNA INSTALLATION:**

- 1.1 WORK INCLUDED
1. IF REQUIRED, ERECT FURNISHED TOWER.
2. GROUND TOWER TEMPORARILY DURING ERECTION. GROUNDING SHALL INCLUDE BASE(S) AND ANCHORS.
3. IF REQUIRED, INSTALL THREE (3) SIDE ARMS, CONSISTING OF THREE (3) 6'-0" AS INDICATED ON DRAWINGS - CONFIRM WITH OWNER REPRESENTATIVE.
4. INSTALL ANTENNAS AS INDICATED ON DRAWINGS AND OWNER SPECIFICATIONS.
5. INSTALL GALVANIZED STEEL ANTENNA MOUNTS AS INDICATED ON DRAWINGS.
6. INSTALL FURNISHED GALVANIZED STEEL WAVEGUIDE LADDER.
7. INSTALL WAVEGUIDE BRIDGE AS INDICATED ON DRAWING.
8. SUPPLY AND INSTALL ONE INSULATED GROUND BAR AT EQUIPMENT CABINET.
9. SUPPLY AND INSTALL GROUNDING STRAP KITS WITH LONG BARREL COMPRESSION LUGS (SM. TO ANDREW-233700TBO OR APPROVED EQUAL.) ATOP TOWER BASE BEFORE ENTERING THE EQUIPMENT. GROUNDING STRAPS TO BE CONNECTED TO INSULATED GROUND BAR.
10. ASSIST OWNER TECHNICIANS IN PERFORMING SWEEP TEST OF INSTALLED COAX.
11. CONCRETE PIERS FOR FOUNDATIONS SHALL BE DRILLED AND POURED ON THE SAME DAY.

- 1.2 REQUIREMENTS OF REGULATOR AGENCIES
1. FURNISH U.L. LISTED EQUIPMENT WHERE SUCH LABEL IS AVAILABLE, INSTALL IN CONFORMANCE WITH U.L. STANDARDS WHERE APPLICABLE.
2. INSTALL ANTENNA, ANTENNA CABLES, GROUNDING SYSTEM IN ACCORDANCE WITH DRAWINGS AND SPECIFICATION IN EFFECT AT PROJECT LOCATION AND RECOMMENDATIONS OF STATE AND LOCAL BUILDING CODES, SPECIAL CODES HAVING JURISDICTION OVER SPECIFIC PORTIONS OF WORK. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
A. TIA - TELECOMMUNICATIONS INDUSTRY ASSOCIATION TIA-222-G. STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES.
B. FAA - FEDERAL AVIATION ADMINISTRATION ADVISORY CIRCULAR AC 70/7460-III, OBSTRUCTION MARKING AND LIGHTING.
C. FCC - FEDERAL COMMUNICATIONS COMMISSION RULES AND REGULATIONS FORM 715, OBSTRUCTION MARKING AND LIGHTING SPECIFICATIONS FOR ANTENNA STRUCTURES AND FORM 715A, HIGH INTENSITY OBSTRUCTION LIGHTING SPECIFICATIONS FOR ANTENNA STRUCTURES.
D. AISC - AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.
E. NEC - NATIONAL ELECTRICAL CODE - ON TOWER LIGHTING KITS.
F. UL - UNDERWRITER'S LABORATORIES APPROVED ELECTRICAL PRODUCTS.
G. IN ALL CASES, PART 77 OR THE FAA RULES AND PARTS 17 AND 22 OF THE FCC RULES ARE APPLICABLE AND IN THE EVENT OF CONFLICT, SUPERSEDE ANY OTHER STANDARDS OR SPECIFICATIONS.
H. 2012 LIFE SAFETY CODE NFPA - 101.

**GENERAL ELECTRIC PROVISION:**

- 1. SUBMITTAL OF BID INDICATES CONTRACTOR IS COGNIZANT OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED UNDER THIS CONTRACT.
2. CONTRACTOR SHALL PERFORM ALL VERIFICATION OBSERVATIONS TEST, AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ARCHITECT LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.
3. HEIGHTS SHALL BE VERIFIED WITH OWNER PRIOR TO INSTALLATION.
4. THESE PLANS ARE DIAGRAMMATIC ONLY, FOLLOW AS CLOSELY AS POSSIBLE.
5. ELECTRICAL SERVICE 120 / 208 VAC 3-PHASE 4-WIRE 100 AMP SERVICE 120 / 240 VAC SINGLE PHASE 3-WIRE 200 AMP SERVICE.
6. EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANEL BOARD, PULL BOX, J-BOX, SWITCH BOX, ETC., IN COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH ACT (O.S.H.A.).
7. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS, TRANSPORTATION, ETC., FOR A COMPLETE AND PROPERLY OPERATIVE SYSTEM ENERGIZED THROUGHOUT AND AS INDICATED ON DRAWINGS, AS SPECIFIED HEREIN AND/OR AS OTHERWISE REQUIRED.
8. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED "A" WHERE SUBJECT TO SUCH APPROVAL. MATERIALS SHALL MEET WITH APPROVAL OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA AND NBFU.
9. ALL CONDUIT INSTALLED SHALL BE SURFACE MOUNTED OR DIRECT BURIAL UNLESS OTHERWISE NOTED.
10. CONTRACTOR SHALL CARRY OUT THEIR WORK IN ACCORDANCE WITH ALL GOVERNING STATE, COUNTY AND LOCAL CODES AND O.S.H.A.
11. CONTRACTOR TO OBTAIN ALL PERMITS, PAY PERMIT FEES, AND BE RESPONSIBLE FOR SCHEDULING INSPECTIONS.
12. COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF JOB ACCEPTANCE BY OWNER. ANY WORK, MATERIAL OR EQUIPMENT FOUND TO BE FAULTY DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE CONTRACTOR.
13. ALL CONDUIT SHALL HAVE A PULL WIRE OR ROPE.
14. PROVIDE PROJECT MANAGER WITH ONE SET OF COMPLETE ELECTRICAL "AS INSTALLED" DRAWINGS AT THE COMPLETION OF THE JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS AND CIRCUITS.
15. ALL BROCHURES, OPERATING MANUALS, CATALOGS, SHOP DRAWINGS, ETC., SHALL BE TURNED OVER TO THE OWNER AT JOB COMPLETION.
16. USE T-TAP CONNECTIONS ON ALL MULTI-CIRCUITS WITH COMMON NEUTRAL CONDUCTOR FOR LIGHTING FIXTURES.
17. ALL CONDUCTORS SHALL BE COPPER.
18. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.
19. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDING AS REQUIRED BY ALL APPLICABLE CODES.
20. PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
21. PENETRATIONS IN FIRE RATED WALLS SHALL BE FIRE STOPPED IN ACCORDANCE WITH APPLICABLE LOCAL BUILDING CODES.
22. WIRE AND CABLE CONDUCTORS SHALL BE COPPER #12 AWG MINIMUM UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS.
23. GROUNDING CONDUCTORS SHALL BE SOLID TINNED COPPER UNLESS OTHERWISE NOTED.
24. METER SOCKET AMPRES, VOLTAGE, NUMBER OF PHASES SHALL BE AS NOTED ON THE DRAWINGS, MANUFACTURED BY "SQUARE D COMPANY", OR APPROVED EQUAL.
25. ALL MATERIALS SHALL BE U.L. LISTED.
26. CONDUIT
A. RIGID CONDUIT SHALL BE U.L. LABEL GALVANIZED ZINC COATED WITH ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS IN CONTACT WITH THE EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS OR EXPOSED ON BUILDING EXTERIOR. RIGID CONDUIT IN CONTACT WITH EARTH SHALL BE 1/2 LAPPED WRAPPED WITH HUNTS WRAP PROCESS NO. 3
B. ELECTRICAL METALLIC TUBING SHALL HAVE U.L. LABEL, FITTING SHALL BE GLAND RING COMPRESSION TYPE. ENT SHALL BE USED ONLY FOR INTERIOR RUNS.
C. FLEXIBLE METALLIC CONDUIT SHALL HAVE U.L. LISTED LABEL AND MAY BE USED WHERE PERMITTED BY CODE. FITTINGS SHALL BE "JAKE" OR "SQUEEZE" TYPE, SEAL TIGHT FLEXIBLE CONDUIT. ALL CONDUIT SHALL HAVE FULL SIZE EQUIPMENT GROUND WIRE.
D. CONDUIT RUNS SHALL BE SURFACE MOUNTED IN CEILINGS OR WALLS UNLESS INDICATED OTHERWISE. CONDUIT INDICATED SHALL RUN PARALLEL OR AT RIGHT ANGLES TO CEILING, FLOOR OR BEAMS. VERIFY EXACT ROUTING OF ALL EXPOSED CONDUIT WITH THE OWNER PRIOR TO INSTALLING. NO HORIZONTAL CONDUITS SHALL BE BELOW 7'-6" A.F.F. NO BX OR ROMEX CABLE IS PERMITTED.
E. PARALLEL UNDERGROUND CONDUIT SHALL BE PVC SCHEDULE 40 (UNLESS NOTED OTHERWISE) AT A MINIMUM DEPTH OF 30" BELOW GRADE - STACKED UNDERGROUND CONDUIT SHALL BE PVC SCHEDULE 40 (UNLESS NOTED OTHERWISE) AT A MINIMUM DEPTH OF 24" BELOW GRADE.
F. ABOVE GROUND CONDUIT SHALL BE P.V.C. SCHEDULE 80 (UNLESS NOTED OTHERWISE).
27. ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC LABELS.
28. CONTRACTOR TO PROVIDE DAILY UPDATES TO PM UNTIL FINAL ELECTRICAL SERVICE IS EFFECTED.
29. UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, AND FALL OF POTENTIAL GROUND TESTS FOR APPROVAL. SUBMIT TEST REPORTS TO PROJECT MANAGER. CLEAN PREMISES OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNDAMAGED CONDITION.
30. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOKUP COSTS TO BE PAID BY CONTRACTOR.

**GROUNDING STANDARDS:**

- 1.0 DEFINITIONS
AGB: ANTENNA GROUND BAR
AWG: AMERICAN WIRE GAUGE
CADWELDING: AN EXOTHERMIC WELDING PROCESS WHICH CREATES POSITIVE CONTACT OF POSITIVE CONTACT OF GROUNDING CONDUCTORS
ENT: ELECTRICAL METAL TUBING (LIGHT GAUGE METALLIC CONDUIT)
MGB: MASTER GROUND BAR
PVC: POLYVINYL CHLORIDE CONDUIT
RFI: RADIO FREQUENCY INTERFERENCE
TGB: TOWER GROUND BAR
THWN: LETTER TYPE DESIGNATION FOR CONDUCTOR INSULATION THAT IS A MOISTURE AND HEAT RESISTANT THERMOPLASTIC WITH A MAXIMUM OPERATING TEMPERATURE OF 75 DEGREES CELSIUS OR 167 DEGREES FAHRENHEIT
T/I: TENANT IMPROVEMENT

- 2.0 BACKGROUND
2.1 AREAS OF CONCERN: WHEN DESIGNING A GROUNDING SYSTEM FOR A MOBILE RADIO FACILITY THERE ARE FOUR INTERRELATED AREAS OF CONCERN. THE BASIC OBJECTIVE FOR EACH IS:
1. LIGHTNING PROTECTION - TO MAINTAIN ALL EQUIPMENT AT THE SAME POTENTIAL DURING A LIGHTNING IMPULSE.
2. RFI FOR NOISE INDUCTION CONTROL - TO ESTABLISH THE LOWEST POSSIBLE IMPEDANCE AMONG ALL EQUIPMENT.
3. ELECTROSTATIC CONTROL - TO REDUCE ELECTROSTATIC DISCHARGE PROBLEMS.
4. PERSONNEL SAFETY - TO MAINTAIN A MINIMUM VOLTAGE DIFFERENCE BETWEEN ANY TWO METALLIC OBJECTS WHICH PERSONNEL MIGHT CONTACT SIMULTANEOUSLY.
2.2 A/C GROUNDING: IN THIS GROUNDING SYSTEM THE A/C SERVICE GROUND SHALL BE KEPT ISOLATED FROM THE EQUIPMENT FRAME WORK AND LIGHTNING PROTECTION GROUND SYSTEMS EXCEPT FOR ONE SPECIFIC POINT. THIS POINT IS THE MAIN GROUNDING POINT OF THE SYSTEM. THIS WOULD TYPICALLY BE CONNECTING THE A/C SERVICE GROUND AT THE COMMERCIAL POWER RISER POLE DISCONNECT/METER BASE TO THE EXTERNAL GROUND RING. ALL GROUNDING CONNECTIONS INSIDE OF CABINETS SHALL BE SCRAPED TO BARE METAL AND COATED WITH NOALOX.
2.3 LIGHTNING CONSIDERATIONS: LIGHTNING DAMAGE OCCURS FROM EITHER INDUCTION OR FROM AN ACTUAL DIRECT STRIKE TO THE BUILDING, USUALLY TAKEN THROUGH THE TOWER AND/OR ANTENNAS. STRIKES TO OTHER NEARBY OBJECTS INDUCE HIGH ENERGY INTO POWER OR TELEPHONE CABLES ENTERING THE BUILDING. THIS TYPE OF EFFECT HISTORICALLY CAUSES MOST OF THE DAMAGE TO THE BUILDING AND ITS CONTENTS.

- 3.0 STATION GROUNDING SYSTEM
3.1 MATERIALS:
1. #2 AWG, BARE SOLID TINNED COPPER WIRE, FOR ALL EXTERIOR CONDUCTORS AND TOWER GROUND BAR CONDUCTORS OR AS OTHERWISE SPECIFIED. GROUNDING TO THE LNAS SHALL BE NO. 6 STANDARD GREEN INSULATED JUMPERS. THE GROUND WIRE TO THE MGB SHALL BE GREEN JACKETED STRANDED #2 TINNED WIRE BURNDY CONNECTED TO THE BUSS BAR AND CONNECTED TO THE GROUND RING ON A GROUND ROD.
2. #2 AWG, INSULATED STRANDED COPPER CABLE IS ACCEPTABLE FOR INTERIOR GROUND BAR CONDUCTORS ON TENANT IMPROVEMENT SITES.
3. 5/8" X 10" GROUND RODS OF SOLID COPPER, STAINLESS STEEL OR COPPER CLAD HIGH STRENGTH STEEL.
4. ABOVE GRADE CONNECTIONS SHALL BE BURNDY HYDROGEN COMPRESSION. BELOW GRADE CONNECTIONS SHALL BE EXOTHERMIC WELD OR OTHER APPROVED EXOTHERMIC WELDING SYSTEM FOR BONDING AS SPECIFIED.
5. XT OR ADVANCED GROUNDING ELECTRODE (AGE), ALL CHEMICAL GROUND RODS SHALL BE UL APPROVED.
6. SOLID COPPER PLATES OF MINIMUM 3'X3'X1/4" SIZE AS SPECIFIED.
7. NOALOX OR APPROVED EQUAL CONDUCTIVE MEDIUM MATERIAL SHALL BE USED IN ALL MECHANICAL CONNECTIONS.
8. #2 AWG STRANDED INSULATED (GREEN) FOR ALL INTERNAL EQUIPMENT GROUNDING.
9. MECHANICAL FASTENERS (I.E., DOUBLE LUGS, SPLIT BOLTS PARALLEL CONNECTORS) SHALL BE BRONZE, BRASS, COPPER OR STAINLESS STEEL AND HAVE NOALOX BETWEEN CONDUCTOR AND CONNECTION.
10. BOLTS, NUTS AND SCREWS USED TO FASTEN MECHANICAL CONNECTORS SHALL BE STAINLESS STEEL WITH STAR TYPE STAINLESS STEEL LOCK WASHERS.
11. ALL LUG TUBE FASTENERS SHALL PROVIDE TWO HOLES TO ALLOW A DOUBLE BOLT CONNECTION.
3.2 MASTER GROUND BAR (MGB): THE PURPOSE OF THE MASTER GROUND BAR IS TO GROUND THE BTS AND ANY OTHER METALLIC OBJECTS AROUND THE BTS. IF A MGB IS NOT PROVIDED WITH THE BTS, THE MGB SHALL BE AS FOLLOWS: THE MGB IS A COPPER BAR MEASURING 4"W X 24"L X 1/4" LOCATED AS CLOSE TO THE BTS AS POSSIBLE. THE MGB SHALL HAVE A MINIMUM NUMBER OF (28) 3/8" HOLES. GROUND BAR SHALL BE SUPPORTED BY MOUNTING BRACKETS WITH INSULATOR STANDOFFS. (2) #2 TINNED SHALL BE MECHANICALLY ATTACHED (2-HOLE COMPRESSION LUG 3/8" HOLES, 1" CENTER TO CENTER SPACING) TO THE MGB AND DOWN LEADS THEN TAKEN THROUGH CONDUIT TO THE GROUND RING. THIS CONDUCTOR SHALL BE KEPT SEPARATE AND ISOLATED UNTIL TERMINATING AT THE MAIN GROUNDING POINT, (I.E. EXTERIOR GROUND RING OR BUILDING STEEL).
3.3 ANTENNA GROUND BAR (AGB): THE PURPOSE OF THE ANTENNA GROUND BAR IS PRIMARILY FOR LIGHTNING PROTECTION. COAXIAL CABLE IS USUALLY THE ONLY ITEM GROUND TO THIS BAR. HOWEVER IT IS ACCEPTABLE TO BOND EXTERIOR, CABLE TRAY, WAVE GUIDE PORTS AND CANTILEVERED WAVE GUIDE BRIDGES TO THE AGB. THE AGB IS A COPPER BAR MEASURING 4"W X 24"L X 1/4". THERE SHALL BE TWO AGBS: ONE LOCATED AT THE TOP OF THE TOWER AT THE START OF THE VERTICAL RUN OF COAX, THE OTHER AT THE BOTTOM OF THE VERTICAL RUN OF COAX BEFORE IT MAKES ITS BEND. (IF THE TOWER IS OVER 200' THERE SHALL BE A THIRD AGB LOCATED AT THE MIDDLE OF THE TOWER) THE AGB SHALL HAVE A MINIMUM OF (28) 3/8" HOLES. GROUND BARS SHALL BE SUPPORTED BY MOUNTING BRACKETS WITH INSULATOR STANDOFFS. USE #2 AWG SOLID TINNED WIRE W/ 2-HOLE SHORT BARREL COMPRESSION LUGS 3/8" HOLES, 1" CENTER TO CENTER SPACING). THIS CONDUCTOR SHALL BE KEPT SEPARATE AND ISOLATED UNTIL TERMINATING AT THE MAIN GROUNDING POINT (I.E. EXTERIOR GROUND RING, OR BUILDING STEEL).

T-Mobile stick together
8550 BRYN MAWR AVENUE, SUITE 100
CHICAGO, ILLINOIS 60631

PLANS PREPARED BY:
W-T COMMUNICATION DESIGN GROUP, LLC.
WIRELESS INFRASTRUCTURE
2675 Pratum Avenue
Hoffman Estates, Illinois 60192
PH: (224) 293-6933 FAX: (224) 293-6444
www.wtagdesign.com
IL License No.: 184.009042 Exp: 04/30/17
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SEAL:
JERRY S. GUTOWSKY
082-047235
REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS
JERRY S. GUTOWSKY
PROFESSIONAL ENGINEER
STATE OF ILLINOIS
LICENSE # 082-047235
EXPIRES: 11/30/2017 SIGNED: 08/01/16

Table with columns: DATE, DESCRIPTION, BY, REV.
08/05/15 LEASE EXHIBIT JTB A
08/10/15 PER CLIENTS COMMENTS DAY B
08/27/15 REVISION JS C
09/02/15 REVISION JS D
12/09/15 REVISION RSM E
03/15/16 REVISION SC F
04/07/16 REVISION NN G
06/13/16 REVISION KLS H
06/17/16 REVISION RSM I
08/01/16 FINALS RSM D

SITE INFORMATION:
CH92341A
SISTERS OF ST. JOSEPH
1515 OGDEN AVENUE
LA GRANGE PARK, IL 60528
W-T JOB NUMBER: T1505246

SHEET TITLE:
GENERAL NOTES & SPECIFICATIONS
SHEET NUMBER:
T-2

PLOT SCALE: 1:1 @ 11"x17"

**GROUNDING STANDARDS (CONT.):**

**3.4 SURGE ARRESTOR GROUND BAR:** THE PURPOSE OF THE SURGE ARRESTOR GROUND BAR IS FOR LIGHTING PROTECTION. THE SURGE ARRESTOR GROUND BAR IS A BENT (3" X 3" ) X 1/4" X 24" COPPER BAR. IT IS LOCATED ON THE WAVEGUIDE BRIDGE SUPPORT CLOSEST TO THE EQUIPMENT. ONE FACE OF THE BAR SHALL HAVE A MINIMUM OF (28) 3/8" DIA. HOLES. HOLES SHALL BE IN PAIRS THAT ARE 1" CENTER TO CENTER. THE OTHER FACE SHALL HAVE 3/8" DIA. HOLES AS REQUIRED TO ATTACH AND GROUND COAXIAL SURGE ARRESTORS. THE GROUND BAR SHALL BE SUPPORTED BY MOUNTING BRACKETS WITH INSULATOR STANDOFFS.

**3.5 GROUND ROD AND GROUND RING PLACEMENT:** THE OUTSIDE GROUND RING SHALL BE PLACED AROUND THE BTS AT A DISTANCE OF TWO (2) FEET FROM THE BTS AT A DEPTH OF 2'-6" OR 6" BELOW THE FROST LINE, WHICHEVER IS DEEPER. RODS SHALL BE DRIVEN TO A DEPTH SUCH THAT THE TOP OF THE RODS IS AT THE LEVEL OF THE GROUND RING CONDUCTOR. THE RODS SHALL BE PLACED MINIMALLY ALONG THE RING AT THE FOLLOWING LOCATIONS:

- A. BELOW THE AREA OF THE INTERNAL MASTER GROUND BAR FOR CONNECTION TO THE MGB.
- B. BELOW THE UTILITY RACK FOR CONNECTION TO THE MAIN BUILDING COMMERCIAL POWER DISCONNECT.
- C. BELOW THE CORNERS OF THE BTS.
- D. AS REQUIRED TO ACHIEVE A RECOMMENDED SPACING OF TWENTY (20) FEET BETWEEN GROUND RODS ALONG THE RING PERIMETER.
- E. AS REQUIRED ALONG THE RING PERIMETER TO ACHIEVE 5 OHMS OR LESS RESISTANCE WHEN TESTED.
- F. TWO RODS LOCATED ON OPPOSITE SIDES AT EACH TOWER LEG OR MONOPOLE.
- G. ONE ROD LOCATED BENEATH EACH END OF THE WAVE GUIDE BRIDGE OR CABLE TRAY.
- H. ONE ROD LOCATED ADJACENT TO THE STANDBY GENERATOR, AND IF SEPARATED BY MORE THAN TEN (10) FEET, ONE LOCATED ADJACENT TO THE FUEL TANK.
- I. ONE ROD LOCATED AT THE BASE OF THE TOWER FOR THE TGB.

**3.6 TOWER GROUNDING:** ALL MONOPOLES SHALL HAVE TWO GROUND RODS (MINIMUM). ALL OTHER TOWERS SHALL HAVE TWO GROUND RODS PLACED AT THE BASE OF EACH TOWER LEG. EACH MONOPOLE OR TOWER LEG SHALL BE BONDED TO THE SYSTEM VIA TWO #2 BARE TINNED SOLID COPPER CONDUCTORS. BURNDY CONNECT THE CONDUCTORS TO ONLY STRUCTURAL BASE PLATES OR LUGS OR EARS AS MAY BE PROVIDED. NO BURNDY CONNECTIONS SHALL BE MADE TO THE VERTICAL WALLS OF THE STRUCTURE. NEVER GROUND TO HOLLOW LEG MEMBERS.

**3.7 ANTENNA GROUNDING:** EACH ANTENNA COAXIAL CABLE SHALL TYPICALLY BE GROUNDING AT THREE POINTS USING A HARD-SHELL COAXIAL CABLE KIT FROM THE MANUFACTURER OF THE ANTENNA CABLE. A TYPICAL INSTALLATION SHALL BE AS FOLLOWS:

- A. THE FIRST GROUND CONNECTION SHALL OCCUR AS CLOSE TO THE ANTENNA AS POSSIBLE, BELOW THE FIRST POINT THE COAX CABLE BEGINS TO RUN VERTICAL DOWN THE TOWER. THIS GROUND SHALL TERMINATE DIRECT TO THE TOP AGB. ON A T/, GROUND TO THE AGB AT THE ANTENNA MOUNTS.
- B. THE SECOND GROUND SHALL BE MADE AT THE BOTTOM OF THE VERTICAL RUN OF THE COAXIAL CABLE AS IT TURNS OUT AWAY FROM THE TOWER TOWARDS THE BTS. THIS GROUND SHALL BE TERMINATED AT THE TGB. THE TGB SHALL HAVE TWO (2) LEADS OF #2 AWG BARE TINNED SOLID COPPER WIRE, AND SHALL TERMINATE AT THE TOWER GROUND RING. THESE SHALL BE ENCASED IN PVC PIPE.
- C. THE THIRD GROUND SHALL BE ON THE SURGE ARRESTOR. GROUND TO BE ATTACHED TO THE CABLE ON STRAIGHT RUNS (NOT WITHIN BENDS) AND BE WEATHERPROOFED PER THE MANUFACTURER'S SPECIFICATIONS. THE SURGE ARRESTORS SHALL BE GROUNDING TO THE GROUND BAR. THE SAGB SHALL HAVE TWO (2) LEADS OF #2 AWG BARE TINNED SOLID COPPER WIRE, AND SHALL TERMINATE AT THE TOWER GROUND RING. THESE SHALL BE ENCASED IN PVC PIPE.

**3.8 PERIMETER FENCE GROUNDING:**

- A. ALL FENCE CORNER AND END POSTS (MINIMUM OF TWO) SHALL HAVE ONE #2 SOLID TINNED COPPER GROUND WIRE CONNECTED TO A 5/8" X 10' SOLID COPPER CLAD GROUND ROD NEXT TO THE POST. THESE POSTS SHALL BE CONNECTED TO THE GROUND RING WITH A #2 SOLID TINNED COPPER GROUND WIRE AND INTERMEDIATE GROUND RODS IF THE DISTANCE FROM THE POST TO THE GROUND RING EXCEEDS 10 FEET. IN NO CASE SHALL ANY PORTION OF THE SAME FENCE REMAIN DISCONNECTED FROM THE GROUND RING.
- B. GATE POSTS SHALL BE GROUNDING TO EACH OTHER TO ENSURE THE ENTIRE FENCE HAS ELECTRICAL CONTINUITY. CONNECTIONS SHALL BE DRILL AND TAP WITH BURNDY TYPE KC22 TO THE POST WITH A #2 AWG BARE SOLID TINNED COPPER WIRE.
- C. GATES SHALL BE BONDED TO GATE POSTS WITH A 18" BRAIDED STRAP TYPE B018G92. THE CONNECTIONS SHALL BE BURNDY 2-HOLE LUGS (3/8" HOLES, 1" CENTER TO CENTER) BOLTED THROUGH EACH POST.
- D. ALL DOWN LEADS TO EARTH WILL BE ENCASED IN 3/4 INCH PVC NON-METALLIC AND SEALED WITH SILICONE.

**3.9 GENERATOR FUEL TANK GROUNDING:** THE GENERATOR FUEL TANK, IF REQUIRED, SHALL BE CONNECTED IN AT LEAST ONE PLACE TO THE MAIN EXTERIOR GROUND RING. #2 AWG BARE SOLID TINNED COPPER WIRE SHALL BE BURNDY CONNECTED TO ONE SUPPORT LEG OF THE FUEL TANK AND EXOTHERMIC WELD TO THE NEAREST EXTERIOR GROUND RING/GROUND ROD.

**3.10 EQUIPMENT ROOM GROUNDING:** THE MASTER GROUND BAR (MGB) SERVES AS THE COLLECTION POINT FOR THE BTS AS WELL AS ALL INTERIOR NON-ELECTRICAL GROUNDING METAL MATERIALS (HVAC GRILLS, DOOR FRAMES/DOORS, TELCO BOARD, UNISTRUTS, CABLE TRAYS, ALARM JUNCTION BOX, ETC.) SHALL BE GROUNDING WITH #8 AWG STRANDED (GREEN) GROUND WIRES WITH INDIVIDUAL RUNS BACK TO THE MGB. (THE CABLE TRAY, DOOR/FRAME AND UNISTRUT MAY BE JUMPERED TOGETHER AND HAVE A SINGLE GROUND WIRE CONNECTION TO THE MGB.)

**3.11 WALL PENETRATIONS SLEEVES:** INSTALL PER CONSTRUCTION DRAWINGS.

**3.12 A/C COMMERCIAL POWER GROUNDING CONNECTIONS:** AT THE ON-SITE RISER POLE LOCATION OR UNDERGROUND SERVICE ENTRANCE LOCATION, THE A/C SERVICE SHALL BE MECHANICALLY BONDED TO THE A/C SERVICE ENTRANCE GROUND AS SPECIFIED BY THE NATIONAL ELECTRIC CODE, ARTICLE 250, AND/OR APPROPRIATE LOCAL CODES. A SEPARATE GROUND ROD SHALL BE PROVIDED AT THIS POINT, AND SHALL BE CONNECTED TO THE EXTERIOR GROUND RING. A SEPARATE A/C SERVICE GROUND AND NEUTRAL SHALL THEN BE ROUTED TO AND CONNECTED TO THE MAIN DISCONNECT INSIDE THE BUILDING OR AS REQUIRED BY LOCAL AUTHORITY.

**3.13 GENERATOR RECEPTACLE GROUNDING:** THE GENERATOR RECEPTACLE (HUBBLE PLUG) SHALL BE GROUNDING TO THE EGR.

**3.14 COAX BRIDGE / CABLE TRAY GROUNDING:** BOND THE COAX BRIDGE OR CABLE TRAY TO THE AGB WITH #2 SOLID TINNED GROUND WIRE. THESE CONNECTIONS SHALL BE DOUBLE LUG BOLTED / SCREWED MECHANICAL CONNECTIONS WITH STAR LOCK WASHERS AND NOALOX. ALL BRIDGE SPLICES SHALL HAVE JUMPERS OF #2 SOLID WITH COMPRESSION LUGS.

**3.15 EXOTHERMIC WELD & BURNDY CONNECTION:** EXOTHERMIC WELDS AND BURNDY CONNECTIONS SHALL BOND ALL UNDERGROUND AND DUMP LOCATION CONNECTIONS, SHELTER SKID GROUNDS, TOWER OR MONOPOLE GROUNDS, FENCING CORNER AND GATE POSTS, ANTENNA GROUND BARS, (AGB) SURGE ARRESTOR GROUND BAR, AND THE MASTER GROUND BAR (MGB). MECHANICAL CONNECTIONS SHALL BE TYPICALLY USED TO BOND ALL INTERIOR EQUIPMENT. COAX CABLE BRIDGES AND COAXIAL CABLE GROUND KITS. ALL LUG TYPE MECHANICAL CONNECTORS TO THE MGB OR AGB SHALL BE TWO HOLE TYPE CONNECTED WITH STAINLESS STEEL BOLTS AND NUTS WITH STAINLESS STEEL LOCK WASHERS AND NOALOX ON EITHER SIDE OF THE BUSS BAR.

**3.16 CHEMICAL GROUND RODS:** CHEMICAL GROUND RODS SHALL NOT BE INSTALLED ON GROUND RING INSTALLATIONS WITH NORMAL SOIL. CHEMICAL GROUND RODS SHALL BE INSTALLED ONLY FOR SPECIAL DESIGN APPLICATIONS THAT REQUIRE SINGLE POINT GROUNDING DUE TO SPECIFIC SITE CONDITIONS.

**3.17 TENANT IMPROVEMENT SITE GROUNDING:** FOR ROOF TOP ANTENNA INSTALLATIONS ADDITIONAL ANTENNA GROUND BARS MAY HAVE TO BE INSTALLED AT EACH ANTENNA MOUNT LOCATION. ALL ANTENNA MOUNTS SHALL BE GROUNDING WITH A #2 AWG CONDUCTOR CONNECTED TO THE NEAREST BUILDING STEEL OR THE AGB INSTALLED AT THE MOUNT. ALL BUSS BARS, BOTH MGB AND AGB(S), SHALL BE INDEPENDENTLY TIED TO THE NEAREST BUILDING STEEL OR DESIGNATED GROUNDING SYSTEM. NO GROUND WIRE IS TO CONNECT THE BUSS BARS TOGETHER. AGB(S) MAY BE HOME RUN BACK TO THE MGB WHERE NO BUILDING STEEL IS AVAILABLE.

**3.18 LIMITS OF BEND RADIUS:** IT IS IMPORTANT THAT THE GROUNDING CONDUCTOR CONNECTING THE INSIDE AND OUTSIDE GROUND SYSTEMS BE AS STRAIGHT AS POSSIBLE, WITH NO TURN OR BEND SHORTER THAN ONE FOOT RADIUS WITH A THREE FOOT RADIUS PREFERRED. NO RIGHT ANGLE OR SHARP BENDS SHALL BE ALLOWED.

**3.19 BONDING PREPARATION & FINISH:** ALL SURFACES REQUIRE PREPARATION PRIOR TO BONDING OF EITHER EXOTHERMIC WELD OR BURNDY FASTENERS. GALVANIZED SURFACES SHALL BE GROUND OR SANDED TO THE POINT OF EXPOSING THE STEEL SURFACE BELOW. PRIOR TO BONDING THE GROUND CONDUCTOR, FOR OTHER SURFACES INCLUDING COPPER BUSS BARS ALL PAINT, RUST TARNISH AND GREASE SHALL BE REMOVED PRIOR TO BONDING THE GROUND CONDUCTOR. EXOTHERMIC WELD TYPE BONDS SHALL BE FINISHED WITH THE APPLICATION OF COLD GALVANIZATION AND WHEN APPLICABLE, FINISH PAINTED WITH AN APPROPRIATE COLOR AS REQUIRED. MECHANICAL TYPE BONDS ON BUSS BARS SHALL BE FINISHED WITH THE APPLICATION OF NOALOX OR OTHER APPROVED CONDUCTIVE MEDIUM MATERIAL BETWEEN CONNECTOR AND BUSS BAR. MECHANICAL TYPE BONDS ON ALL OTHER SURFACES SHALL BE FINISHED WITH THE APPLICATION OF COLD GALVANIZATION AND/OR THE APPROPRIATE PAINT TO MATCH AS REQUIRED.

**3.20 TESTING:** THE OUTSIDE GROUND RING SHALL BE TESTED AFTER INSTALLATION BUT PRIOR TO BACKFILLING THE GROUND RING TRENCH. THE GROUND FIELD RESISTANCE SHALL MEASURE 5 OHMS OR LESS TO GROUND. ANY DIFFICULTY IN ACHIEVING THIS LEVEL OF RESISTANCE MUST BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER. THE RESISTANCE TO GROUND SHALL BE MEASURED USING THE FALL OF POTENTIAL METHOD. TESTING SHALL BE PERFORMED BY AN OWNER PROVIDED INDEPENDENT TESTING LABORATORY FROM WHICH A WRITTEN REPORT SHALL BE PRODUCED FOR REVIEW BY THE PROJECT MANAGER.

**3.21 SPECIAL CONDITIONS:** WHEN SOIL CONDITIONS EXIST (I.E., NON-COMPACTABLE ROCK, GRAVEL, SHALE, ETC.) THAT PREVENTS THE INSTALLATION OF THE STANDARD GROUNDING SYSTEM AND PROCEDURES, THEN VERBAL PROCEDURES SHALL BE REQUESTED BY THE PM.

**3.22 EXTERNAL GROUND RING:** THE EXTERNAL GROUND RING SHALL EXTEND TO THE MAXIMUM ALLOWABLE DEPTH IN 95% COMPACTED SOIL.

**3.23 GROUND RODS (REPLACEMENT):** WHEN GROUND RODS CANNOT BE DRIVEN INTO THE SOIL VERTICALLY TO A DEPTH DESCRIBED IN PARAGRAPH 3.5, AND REMAIN IN 95% COMPACTED SOIL, THEN THE FOLLOWING METHODS OF SUBSTITUTION MAY BE USED. THESE ARE SUGGESTED METHODS ONLY, AND EACH CASE SHOULD BE REVIEWED BY THE T-MOBILE PROJECT MANAGER. THE PURPOSE IS TO ACHIEVE THE LOWEST IMPEDANCE TO GROUND, IN ANY CASE, EQUAL TO OR LESS THAN 5 OHMS.

**3.24 ROCK WITH SOME OR NO SOIL COVER:** FOR SITES WHICH HAVE SOIL CONDITIONS WHICH CONSIST OF SOLID OR SEMI SOLID ROCK BELOW ABOUT THREE FEET OF COMPATIBLE SOIL, A COMBINATION OF METHODS MAY BE USED:

- A. A COMBINATION OF SHORT GROUND RODS MAY BE USED WITH 3" SQUARE 1/4" COPPER PLATES. A MINIMUM OF TWO PLATES SHOULD BE USED AND SHOULD REPLACE GROUND RODS ON AN EQUIVALENCY OF TWO GROUND ROD LENGTHS PER COPPER PLATE. THE COPPER PLATE SHOULD BE PLACED IN A MINIMUM 3" BENTONITE GASE AND COVERED WITH 3" OF BENTONITE FILL PRIOR TO BACKFILL.
- B. AN ACTIVE TYPE CHEMICAL ROD SYSTEM MAY BE USED. THIS IS AN ENGINEERING JUDGMENT AND SHOULD BE USED ONLY WHERE NECESSARY, DUE TO EXPENSE. IN ALL CASES, THE STANDARD PRACTICES OUTLINED IN THIS DOCUMENT SHOULD BE FOLLOWED TO THE EXTENT THAT IS APPLICABLE, AND SHOULD BE MODIFIED AS TO THE QUANTITY OF GROUND RODS AND CONDUCTOR SIZE ONLY AS RECOMMENDED BY THE MANUFACTURER OF THE GROUND ROD SYSTEM.
- C. A SYSTEM UTILIZING CORED SHAFTS, STANDARD GROUND RODS ON A TYPICAL LAYOUT, WITH A BENTONITE (CLAY) BACKFILL. IN THIS CASE EACH GROUND ROD SHOULD BE TESTED INDIVIDUALLY, AND EACH ROD SHOULD HAVE AN ACCESS BOX PLACED FOR FUTURE TESTING.

**3.25 HIGH RISE BUILDING:**

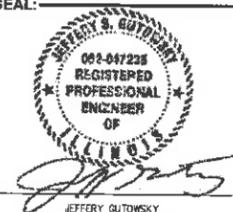
- A. HIGH RISE BUILDINGS PRESENT A UNIQUE PROBLEM IN GROUNDING. A FACILITY INVESTIGATION SHOULD BE MADE INTO THE STRUCTURE OF THE BUILDING, AND AS TO THE POSSIBLE PRESENCE OF AN EXISTING LIGHTNING PROTECTION SYSTEM. IF ONE IS IN PLACE AND APPEARS ADEQUATE IN DESIGN, IT WILL BE NECESSARY TO CONNECT THE ANTENNA SYSTEM TO THE EXISTING SYSTEM, WITH A TEST TO THE SYSTEM AFTER INSTALLATION TO ENSURE THAT IT HAS NOT CAUSED THE SYSTEM TO EXCEED 5 OHMS.
- B. STRUCTURAL STEEL BUILDINGS. IF THE BUILDING IS BUILT OF STRUCTURAL STEEL, IT MAY BE POSSIBLE TO GROUND THE ANTENNAS TO THE BUILDING SITE. IT IS PREFERABLE TO GROUND THE ANTENNAS AND THE SITE TO A DIRECT EARTH CONNECTION, BY USE OF SEPARATE DOWN LEADS OF CONSIDERABLE SIZE (250 MCM OR LARGER) COMING FROM GROUND BUSS BARS TO COLLECT THE GROUND INPUT, AND RUN DOWN A VERTICAL SHAFT OR STAIRWELL TO A PATTERN OF NO LESS THAN FOUR GROUND RODS. WHERE PRACTICAL, THE BUILDING STEEL SHOULD BE BONDED TO THE GROUND RING WITH A SEPARATE LEAD TO THE GROUND ROD FIELD.
- C. A SYSTEM STRUCTURAL CONCRETE BUILDINGS ARE MORE DIFFICULT TO GROUND PROPERLY. THE ANTENNAS SHOULD BE GROUNDING TO A SEPARATE BUSS BAR AND DOWN LEAD WHERE THE COAXIAL CABLES ENTER THE BUILDING. THE DOWN LEAD SHOULD BE RUN IN A SIMILAR FASHION AS IN THE STRUCTURAL STEEL EQUIPMENT ROOM. THE DOWN LEADS SHOULD BE PROTECTED IN CONDUIT AND SHOULD BE INSTALLED AS FAR APART AS IS PRACTICAL FROM EACH OTHER. THE SEPARATE DOWN LEADS SHOULD NOT CONTACT EACH OTHER UNTIL CONNECTION WITH THE FIRST GROUND ROD.



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CHICAGO, ILLINOIS 60631

PLANS PREPARED BY:  
**WT**  
**W-T COMMUNICATION  
DESIGN GROUP, LLC.**  
WIRELESS INFRASTRUCTURE  
2675 Pratum Avenue  
Hoffman Estates, Illinois 60192  
PH: (224) 293-8233 FAX: (224) 293-8444  
www.wtandg.com  
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SEAL:  
  
JEFFERY GUTWORSKY  
PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
LICENSE # 062-047235  
EXPIRES: 11/30/2017 SIGNED: 08/01/16

DATE	DESCRIPTION	BY	REV.
08/05/15	LEASE EXHIBIT	JTB	A
08/10/15	PER CLIENTS COMMENTS	DAY	B
08/27/15	REVISION	JS	C
09/02/15	REVISION	JS	D
12/09/15	REVISION	RSM	E
03/15/16	REVISION	SC	F
04/07/16	REVISION	NN	G
06/13/16	REVISION	KLS	H
06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	O

SITE INFORMATION:  
**CH92341A**  
**SISTERS OF  
ST. JOSEPH**  
1515 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

SHEET TITLE:  
**GENERAL  
NOTES &  
SPECIFICATIONS**  
SHEET NUMBER:  
**T-3**

PLOT SCALE: 1:1 @ 11"x17"





**PROPOSED UTILITY EASEMENT DESCRIPTION**

THAT PART OF LOT 2 IN SISTERS OF ST. JOSEPH OF LAGRANGE SUBDIVISION NO. 1 BEING PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 23rd, 1987 AS DOCUMENT NUMBER 87520816, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 2; THENCE NORTH 06 DEGREES 53 MINUTES 25 SECONDS EAST ALONG THE EAST LINE OF SAID LOT 2, FOR A DISTANCE OF 339.43 FEET; THENCE NORTH 02 DEGREES 12 MINUTES 00 SECONDS WEST ALONG SAID EAST LINE, 846.94 FEET; THENCE SOUTH 74 DEGREES 56 MINUTES 52 SECONDS WEST, 142.81 FEET TO THE NORTHEAST CORNER OF AFORESAID OVERALL LEASE AREA; THENCE SOUTH 15 DEGREES 03 MINUTES 08 SECONDS EAST ALONG THE EAST LINE OF SAID LEASE AREA, 40.00 FEET TO THE SOUTHEAST CORNER THEREOF; THENCE SOUTH 74 DEGREES 56 MINUTES 52 SECONDS WEST ALONG THE SOUTH LINE OF SAID LEASE AREA, 1.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 15 DEGREES 03 MINUTES 08 SECONDS WEST, 15.47 FEET; THENCE SOUTH 74 DEGREES 56 MINUTES 52 SECONDS WEST, 8.00 FEET; THENCE NORTH 15 DEGREES 03 MINUTES 08 SECONDS WEST, 15.47 FEET TO THE SOUTH LINE OF SAID LEASE AREA; THENCE NORTH 74 DEGREES 56 MINUTES 52 SECONDS EAST ALONG SAID SOUTH LINE, 8.00 FEET TO THE POINT OF BEGINNING, CONTAINING 123.76 SQUARE FEET, IN COOK COUNTY, ILLINOIS.

**UTILITY EASEMENT PROVISIONS**  
**AN EASEMENT FOR SERVING THE PROPERTY WITH ELECTRIC AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND GRANTED TO T-MOBILE, COMMONWEALTH EDISON COMPANY AND AT&T, GRANTEEES,**

THEIR RESPECTIVE LICENSEES, SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, TO CONSTRUCT, OPERATE, REPAIR, MAINTAIN, MODIFY, RECONSTRUCT, REPLACE, SUPPLEMENT, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES, GUYS, ANCHORS, WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS, EQUIPMENT CABINETS OR OTHER FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, COMMUNICATIONS, SOUNDS AND SIGNALS IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) ON THE PLAT AND MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION), THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHTS TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE OF THE PROPERTY TO SERVE IMPROVEMENTS THEREON, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES, ROOTS AND SAPLINGS AND TO CLEAR OBSTRUCTIONS FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEEES' FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION) WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

**NOTES:**

1. BENCHMARK- RAILROAD SPIKE IN UTILITY POLE NW OF BUILDING. ELEVATION=638.25' (NAVD88)
2. PERMANENT INDEX NUMBER: 15-32-400-010, 15-32-400-013, 15-32-400-012, 15-32-400-014 & 15-32-400-017
3. FIELD WORK COMPLETED: 9/30/15
4. SURVEY PREPARED WITHOUT THE AID OF A TITLE REPORT, REFER TO A CURRENT TITLE REPORT, DEED AND LOCAL CODES FOR ANY EASEMENT, BUILDING SETBACKS AND OTHER LOCAL RESTRICTIONS NOT SHOWN HERON.
5. SURVEY PREPARED FOR: W-T COMMUNICATION DESIGN GROUP, LLC.
6. LATITUDE: N 41°49'21.76" (NAD83)  
 LONGITUDE: W 087°53'15.02" (NAD83)
7. BASIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.
8. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.
9. ACCORDING TO OUR INTERPOLATION OF THE FLOOD INSURANCE RATE MAP A PORTION OF THE PROPOSED LEASE AREA FALLS WITHIN ZONE "AH", DESCRIBED AS "FLOOD DEPTHS OF 1 TO 3 FEET" AND THE REMAINDER FALLS WITHIN ZONE "X", DESCRIBED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOODPLAIN" PER F.E.M.A. PANEL NO. 17031C0459J DATED AUGUST 19th, 2008.

**PROPOSED OVERALL LEASE AREA DESCRIPTION**

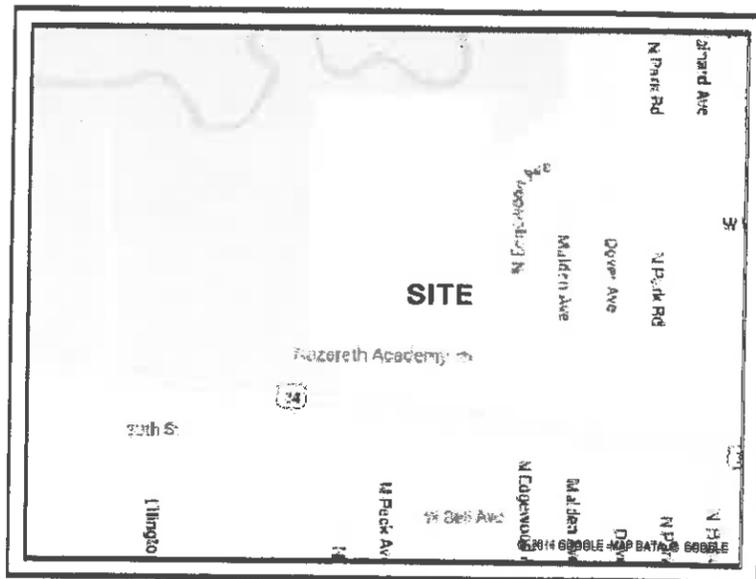
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**PROPOSED T-MOBILE LEASE AREA DESCRIPTION**

THAT PART OF LOT 2 IN SISTERS OF ST. JOSEPH OF LAGRANGE SUBDIVISION NO. 1 BEING PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 23rd, 1987 AS DOCUMENT NUMBER 87520816, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 2; THENCE NORTH 06 DEGREES 53 MINUTES 25 SECONDS EAST ALONG THE EAST LINE OF SAID LOT 2, FOR A DISTANCE OF 339.43 FEET; THENCE NORTH 02 DEGREES 12 MINUTES 00 SECONDS WEST ALONG SAID EAST LINE, 846.94 FEET; THENCE SOUTH 74 DEGREES 56 MINUTES 52 SECONDS WEST, 143.81 FEET; THENCE SOUTH 15 DEGREES 03 MINUTES 08 SECONDS EAST, 1.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 15 DEGREES 03 MINUTES 08 SECONDS EAST, 20.00 FEET; THENCE SOUTH 74 DEGREES 56 MINUTES 52 SECONDS WEST, 10.00 FEET; THENCE NORTH 15 DEGREES 03 MINUTES 08 SECONDS WEST, 20.00 FEET; THENCE NORTH 74 DEGREES 56 MINUTES 52 SECONDS EAST, 10.00 FEET TO THE POINT OF BEGINNING, CONTAINING 200.00 SQUARE FEET, IN COOK COUNTY, ILLINOIS.

**PROPOSED ACCESS EASEMENT DESCRIPTION**

THAT PART OF LOTS 1 AND 2 IN SISTERS OF ST. JOSEPH OF LAGRANGE SUBDIVISION NO. 1 BEING PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 23rd, 1987 AS DOCUMENT NUMBER 87520816, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 2; THENCE NORTH 83 DEGREES 06 MINUTES 35 SECONDS WEST ALONG THE SOUTH LINE OF SAID LOT 2 ALSO BEING THE NORTH LINE OF OGDEN AVENUE, 6.00 FEET; THENCE NORTH 06 DEGREES 53 MINUTES 25 SECONDS EAST, 93.25 FEET; THENCE NORTH 29 DEGREES 51 MINUTES 52 SECONDS WEST, 62.44 FEET; THENCE NORTH 07 DEGREES 54 MINUTES 58 SECONDS EAST, 70.24 FEET; THENCE NORTH 51 DEGREES 46 MINUTES 04 SECONDS EAST, 51.17 FEET; THENCE NORTH 06 DEGREES 53 MINUTES 25 SECONDS EAST, 16.96 FEET; THENCE NORTH 03 DEGREES 21 MINUTES 02 SECONDS WEST, 469.02 FEET; THENCE NORTH 84 DEGREES 21 MINUTES 12 SECONDS WEST, 71.85 FEET; THENCE NORTH 09 DEGREES 56 MINUTES 02 SECONDS WEST, 329.45 FEET; THENCE NORTH 15 DEGREES 03 MINUTES 08 SECONDS WEST, 38.11 FEET TO THE SOUTHERLY LINE OF THE AFORESAID OVERALL LEASE AREA; THENCE NORTH 74 DEGREES 56 MINUTES 52 SECONDS EAST ALONG SAID SOUTHERLY LINE, 12.00 FEET; THENCE SOUTH 15 DEGREES 03 MINUTES 08 SECONDS EAST, 38.65 FEET; THENCE SOUTH 09 DEGREES 56 MINUTES 02 SECONDS EAST, 320.87 FEET; THENCE SOUTH 84 DEGREES 21 MINUTES 12 SECONDS EAST, 72.99 FEET; THENCE SOUTH 03 DEGREES 21 MINUTES 02 SECONDS EAST, 480.34 FEET; THENCE SOUTH 06 DEGREES 53 MINUTES 25 SECONDS WEST, 18.04 FEET; THENCE SOUTH 37 DEGREES 59 MINUTES 14 SECONDS EAST, 51.17 FEET; THENCE SOUTH 05 DEGREES 51 MINUTES 52 SECONDS WEST, 70.24 FEET; THENCE SOUTH 43 DEGREES 38 MINUTES 42 SECONDS WEST, 62.44 FEET; THENCE SOUTH 06 DEGREES 53 MINUTES 25 SECONDS WEST, 93.25 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 2 ALSO BEING THE NORTH LINE OF OGDEN AVENUE; THENCE NORTH 83 DEGREES 06 MINUTES 35 SECONDS WEST ALONG SAID LINE, 6.00 FEET TO THE POINT OF BEGINNING, (EXCEPTING THE FOLLOWING DESCRIBED PARCEL; THAT PART OF LOTS 1 AND 2 IN SISTERS OF ST. JOSEPH OF LAGRANGE SUBDIVISION NO. 1 BEING PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 23rd, 1987 AS DOCUMENT NUMBER 87520816, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 2; THENCE NORTH 06 DEGREES 53 MINUTES 25 SECONDS EAST ALONG THE EAST LINE OF SAID LOT 2, A DISTANCE OF 105.27 FEET TO THE POINT OF BEGINNING; THENCE NORTH 29 DEGREES 51 MINUTES 52 SECONDS WEST, 52.29 FEET; THENCE NORTH 07 DEGREES 54 MINUTES 58 SECONDS EAST, 61.31 FEET; THENCE NORTH 51 DEGREES 46 MINUTES 04 SECONDS EAST, 42.79 FEET TO A POINT ON THE EAST LINE OF SAID LOT 1 ALSO BEING THE WEST LINE OF SAID LOT 2; THENCE SOUTH 37 DEGREES 59 MINUTES 14 SECONDS EAST, 42.79 FEET; THENCE SOUTH 05 DEGREES 51 MINUTES 52 SECONDS WEST, 61.31 FEET; THENCE SOUTH 43 DEGREES 38 MINUTES 42 SECONDS WEST, 52.29 FEET TO THE POINT OF BEGINNING), CONTAINING 16,477.69 SQUARE FEET, IN COOK COUNTY, ILLINOIS.





- IMPORTANT SITE NOTES:**
1. GENERAL CONTRACTOR WILL NOT START CONSTRUCTION UNTIL AFTER THEY HAVE RECEIVED THE PRE-CON PACKAGE AND HAVE A PRE-CON WALK WITH THE PROJECT MANAGER.
  2. GENERAL CONTRACTOR TO HIRE PUBLIC (811) AND PRIVATE LOCATING SERVICE IN ORDER TO LOCATE AND PROTECT ALL SURFACE UTILITIES. DO NOT SCALE OFF THESE PLANS FOR ANY BELOW GRADE UTILITIES
  3. CONTRACTOR SHALL VERIFY ALL EXISTING BURIED AND OVERHEAD UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL REPAIR ALL DAMAGED UTILITIES AT HIS OWN COST AND COORDINATE ANY REPAIRS WITH RESPECTIVE UTILITY COMPANY.
  4. CONTRACTOR TO VERIFY ALL HEIGHTS AND AZIMUTHS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY T-MOBILE AND ENGINEERING FIRM OF ANY DISCREPANCIES BEFORE PROCEEDING.
  5. CONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION

PROPERTY LINE	TOWER SETBACKS
ROW: SOUTH	1103'-10"
SIDE: EAST	150'-6"
REAR: NORTH	215'-7"

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8550 BRYN MAWR AVENUE, SUITE 100  
CHICAGO, ILLINOIS 60631

PLANS PREPARED BY:  
**W-T**  
**W-T COMMUNICATION DESIGN GROUP, LLC.**  
WIRELESS INFRASTRUCTURE  
2875 Pratum Avenue  
Hoffman Estates, Illinois 60192  
PH: (224) 293-6333 FAX: (224) 293-6444  
www.wteng.com  
IL License No.: 184.006042 Exp: 04/30/17  
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SEAL:  
  
JEFFERY GUTOWSKY  
PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
LICENSE # 062-047235  
EXPIRES: 11/30/2017 SIGNED: 08/01/16

DATE	DESCRIPTION	BY	REV
08/05/15	LEASE EXHIBIT	JTB	A
08/10/15	PER CLIENTS COMMENTS	DAY	B
08/27/15	REVISION	JS	C
09/02/15	REVISION	JS	D
12/09/15	REVISION	RSM	E
03/15/16	REVISION	SC	F
04/07/16	REVISION	NN	G
06/13/16	REVISION	KLS	H
06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	D

SITE INFORMATION:  
**CH92341A**  
**SISTERS OF ST. JOSEPH**  
1615 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

SHEET TITLE:  
**OVERALL SITE PLAN**

SHEET NUMBER:  
**C-1**

PLOT SCALE: 1:1 @ 11"x17"

**OVERALL SITE PLAN**  
SCALE: T=160'-0"  
1





SEAL:  
  
JEFFERY GUTOWSKY  
PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
LICENSE # 062-047235  
EXPIRES: 11/30/2017 SIGNED: 08/01/16

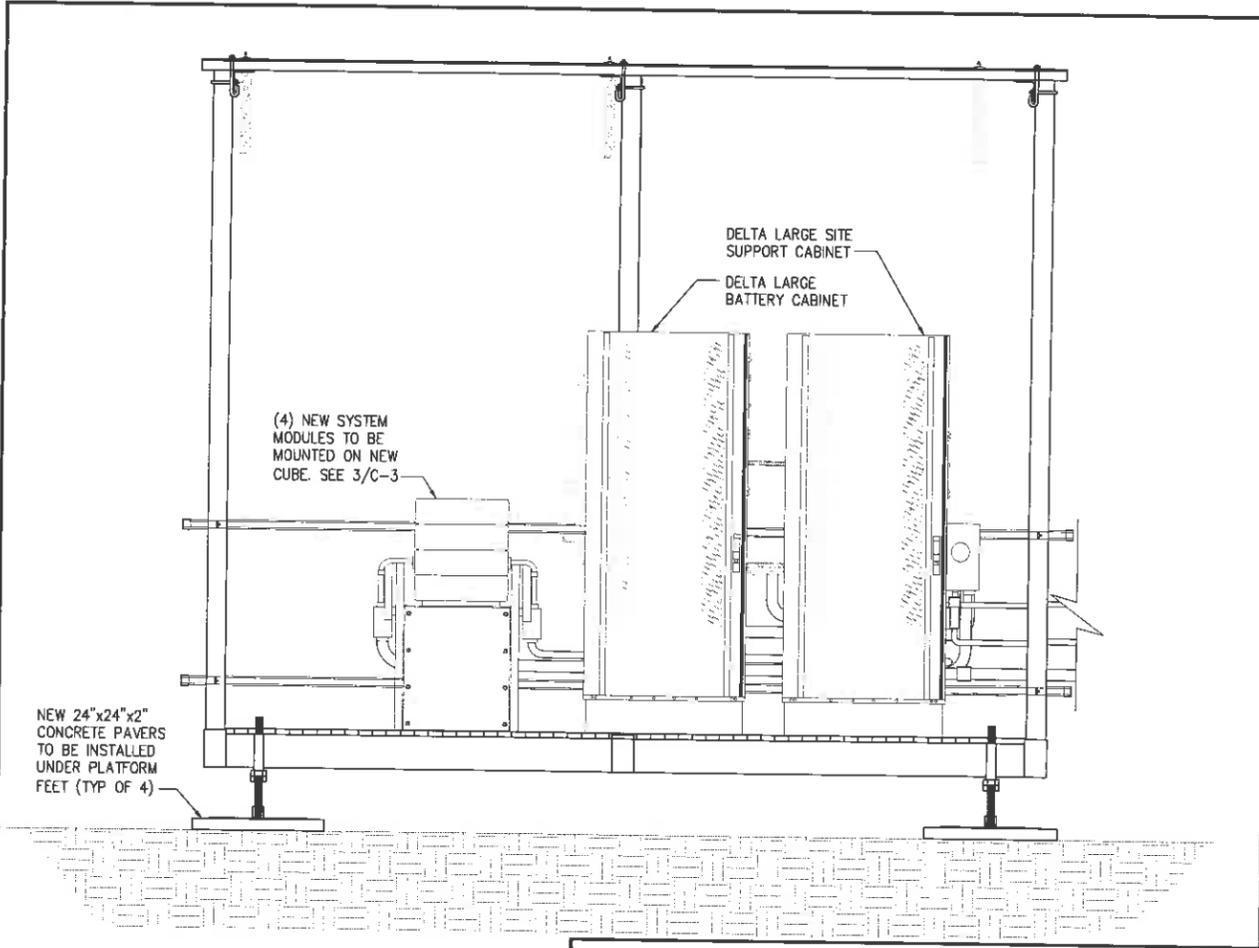
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08/10/15	PER CLIENTS COMMENTS	DAY	B
08/27/15	REVISION	JS	C
09/02/15	REVISION	JS	D
12/09/15	REVISION	RSM	E
03/15/16	REVISION	SC	F
04/07/16	REVISION	NN	G
06/13/16	REVISION	KLS	H
06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	O

SITE INFORMATION:  
**CH92341A**  
**SISTERS OF**  
**ST. JOSEPH**  
1515 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

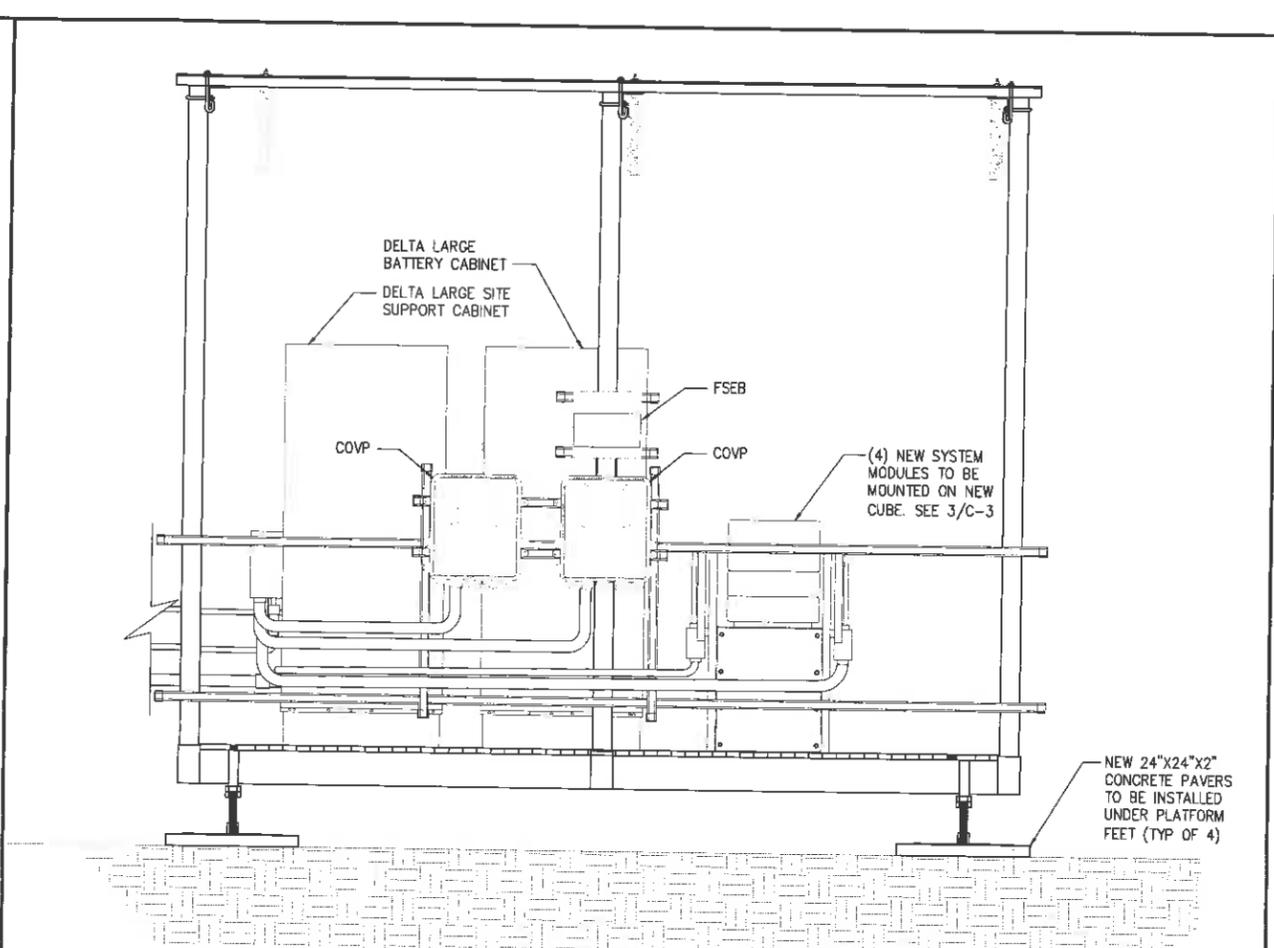
SHEET TITLE:  
**EQUIPMENT**  
**ELEVATIONS**

SHEET NUMBER:  
**C-3**

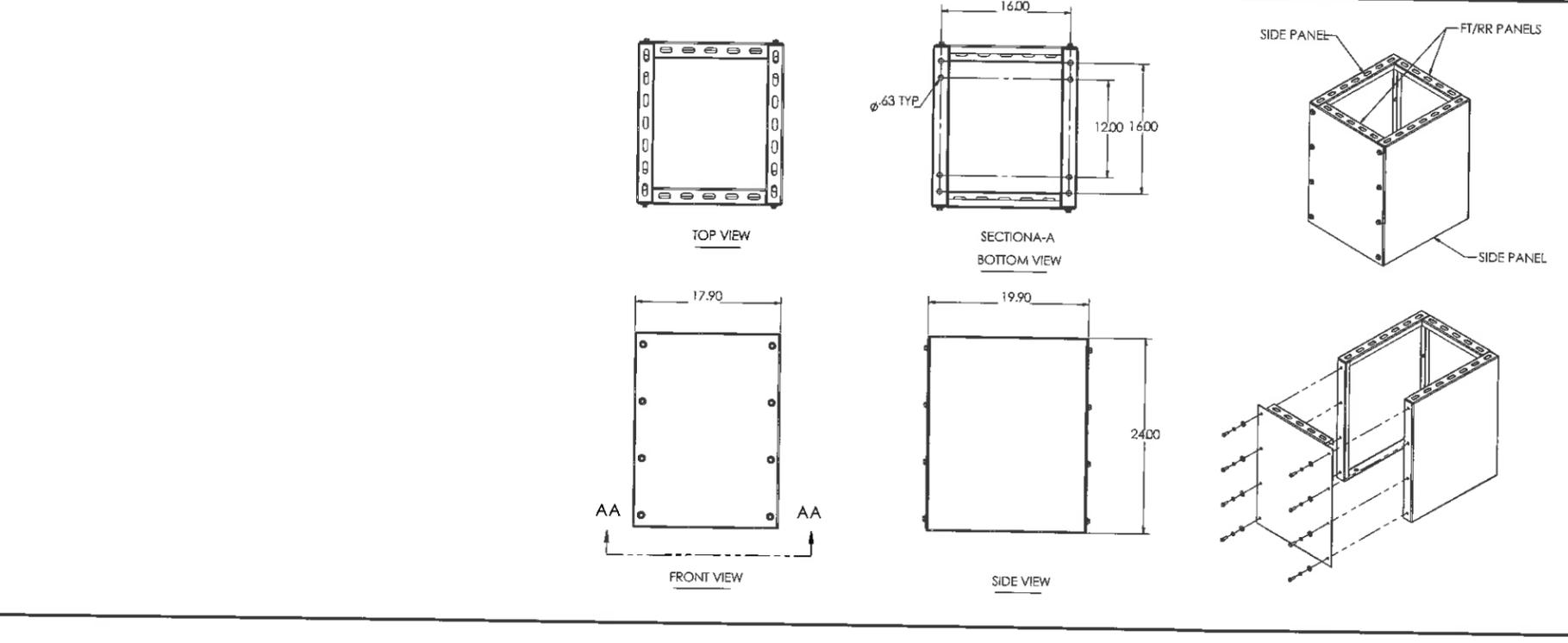
PLOT SCALE: 1:1 @ 11"x17"



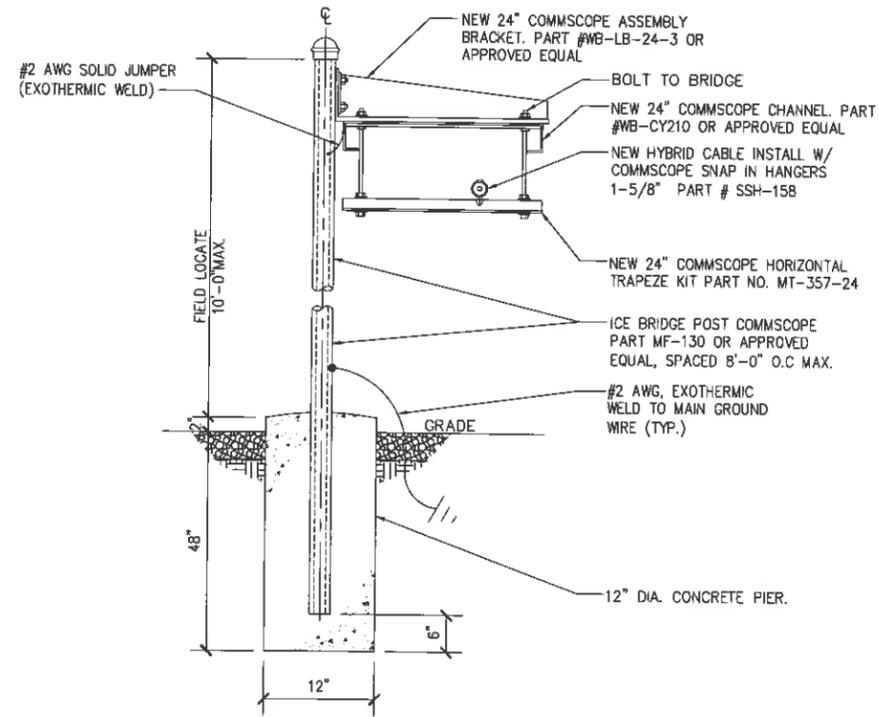
**FRONT EQUIPMENT ELEVATION**  
SCALE: 3/8"=1'-0"  
**1**



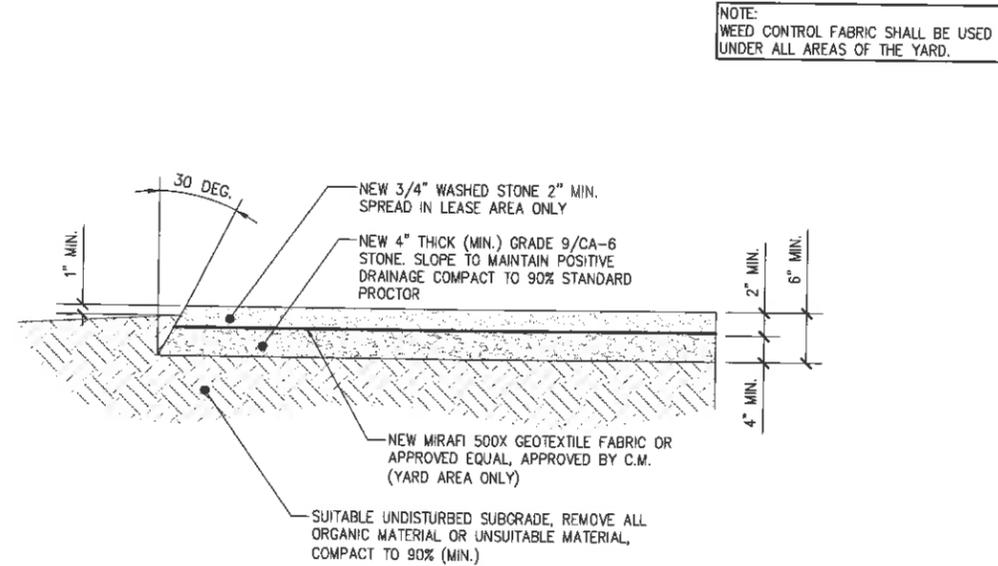
**REAR EQUIPMENT ELEVATION**  
SCALE: 3/8"=1'-0"  
**2**



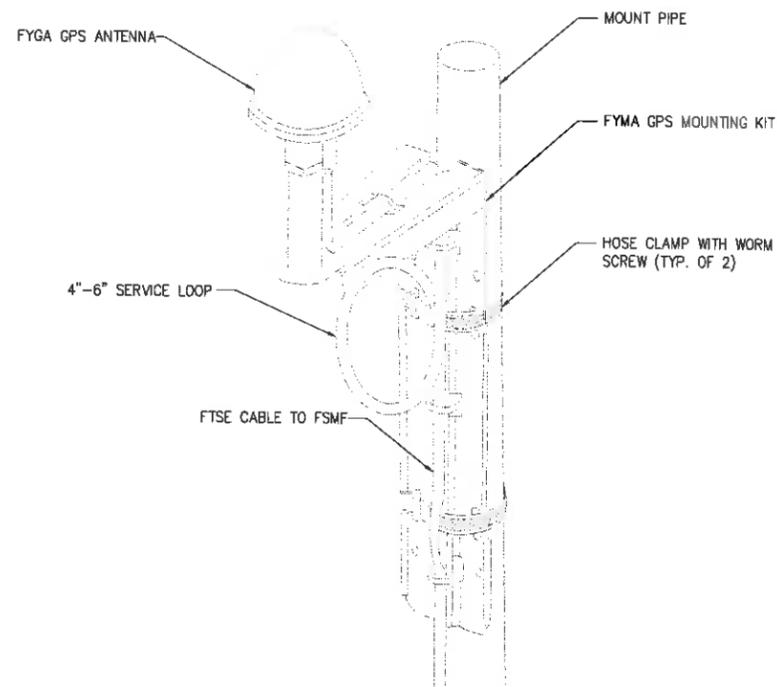
**CUBE DETAIL**  
SCALE: NONE  
**3**



**ICE BRIDGE DETAIL**  
SCALE: NONE 1



**GRAVEL COMPOUND DETAIL**  
SCALE: NONE 2



**FYGA GPS ANTENNA DETAIL**  
SCALE: NONE 3

**NOT USED**  
SCALE: NONE 4

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PLANS PREPARED BY:  
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WIRELESS INFRASTRUCTURE  
2875 Prater Avenue  
Hoffman Estates, Illinois 60182  
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SEAL:  
**JEFFERY DUTOWSKY**  
REGISTERED PROFESSIONAL ENGINEER  
OF ILLINOIS  
JEFFERY DUTOWSKY  
PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
LICENSE # 062-047235  
EXPIRES: 11/30/2017 SIGNED: 08/01/16

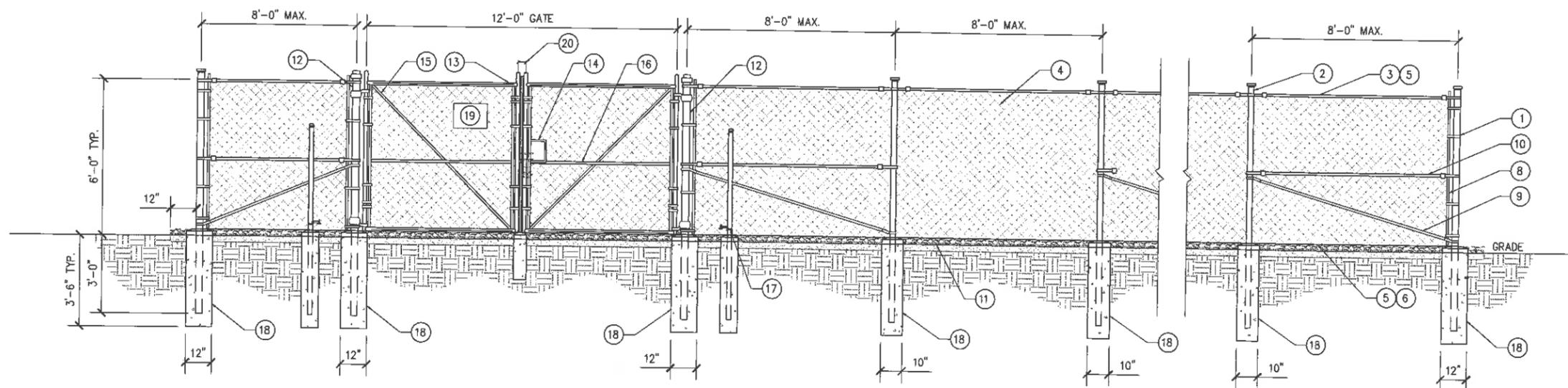
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08/10/15	PER CLIENTS COMMENTS	DAY	B
08/27/15	REVISION	JS	C
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06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	O

SITE INFORMATION:  
**CH92341A**  
**SISTERS OF ST. JOSEPH**  
1515 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

SHEET TITLE:  
**ICE BRIDGE, GPS & SITE DETAILS**

SHEET NUMBER:  
**C-4**

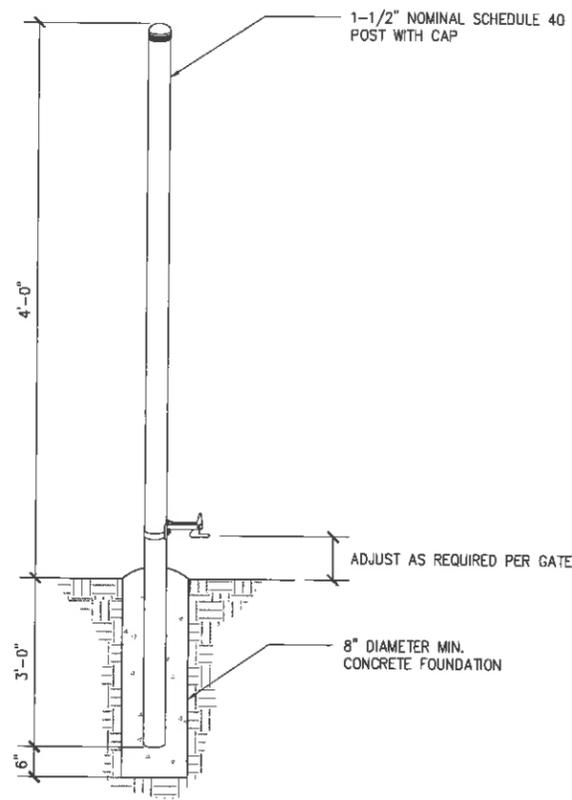
PLOT SCALE: 1:1 @ 11"x17"



**FENCE ELEVATION**

SCALE: NONE

1



**DUCKBILL GATE STOP**

SCALE: NONE

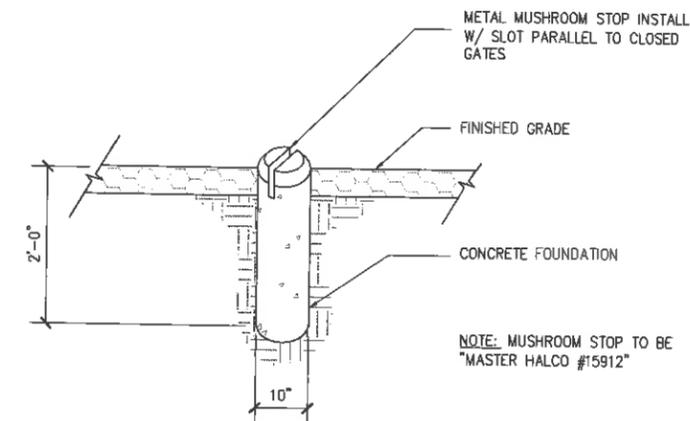
2

**REFERENCE NOTES:**

1. CORNER, END OR PULL POST: 3" NOMINAL SCHEDULE 40 PIPE.
2. LINE POST: 2-1/2" NOMINAL SCHEDULE 40 PIPE, PER ASTM F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 8'-0" O.C. (2-7/8" O.D.)
3. TOP RAIL & BRACE RAIL: 1-1/2" NOMINAL PIPE, PER ASTM F1083.
4. FABRIC: 9 GAUGE CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM A392. GROUND CLEARANCE TO BE 2" MAX.
5. TIE WIRE: MINIMUM 11 GAUGE GALVANIZED STEEL. A SINGLE WRAP OF FABRIC TIE AT POSTS AND RAILS. BY HOG RINGS SPACED MAXIMUM 24" INTERVALS AT TENSION WIRE.
6. TENSION WIRE: 9 GAUGE GALVANIZED STEEL.
7. NOT USED.
8. STRETCHER BAR: 3/16" X 3/4" X HEIGHT OF FENCE.
9. 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
10. CORNER POST BRACE: 1-1/4" NOMINAL PIPE EACH CORNER EACH WAY.
11. FINISH GRADE SHALL BE UNIFORM, LEVEL AND EXTEND 12" BEYOND FENCE BOUNDARY.
12. GATE POST: 3-1/2" NOMINAL SCHEDULE 40 PIPE, FOR GATE WIDTHS UP THRU 10 FEET OR 20 FEET FOR DOUBLE SWING GATE, PER ASTM F1083.
13. GATE FRAME: 1-1/2" NOMINAL PIPE, PER ASTM F1083.
14. 4" X 6" HANDHOLE WITH 3/4" CHAIN AND LOCKS. WELD CHAIN TO THE GATE LEAF WITHOUT THE HANDHOLE.
15. GATE DIAGONAL: GALVANIZED STEEL 1-1/2" NOMINAL PIPE.
16. GATE FRAME BRACE: 1-5/8" NOMINAL PIPE.
17. DUCK BILL OPEN GATE HOLDER. VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION.
18. POST CONCRETE FOUNDATION (2000 PSI).
19. SIGNAGE PROVIDED BY OWNER.
20. GAP BETWEEN GATES: 1" MIN. / 3" MAX.

**GENERAL NOTES:**

1. INSTALL FENCING PER ASTM F567.
2. INSTALL SWING GATES PER ASTM F900.
3. COMPLY WITH LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT, IF REQUIRED.
4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE 1-1/4" NOMINAL SCHEDULE 40 GALVANIZED MINIMUM (HOT DIP, ASTM F1083 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALVANIZING (OR EQUAL).
5. ALL OPEN POSTS SHALL HAVE END-CAPS.
6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.



**MUSHROOM GATE STOP**

SCALE: NONE

3

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SEAL:



JEFFREY GUTOWSKY  
PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
LICENSE # 062-047235

EXPIRES: 11/30/2017 SIGNED: 08/01/16

DATE:	DESCRIPTION:	BY:	REV:
08/05/15	LEASE EXHIBIT	JTB	A
08/10/15	PER CLIENTS COMMENTS	DAY	B
08/27/15	REVISION	JS	C
09/02/15	REVISION	JS	D
12/09/15	REVISION	RSM	E
03/15/16	REVISION	SC	F
04/07/16	REVISION	NN	G
06/13/16	REVISION	KLS	H
06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	D

**SITE INFORMATION:**

**CH92341A**

**SISTERS OF  
ST. JOSEPH**

1515 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

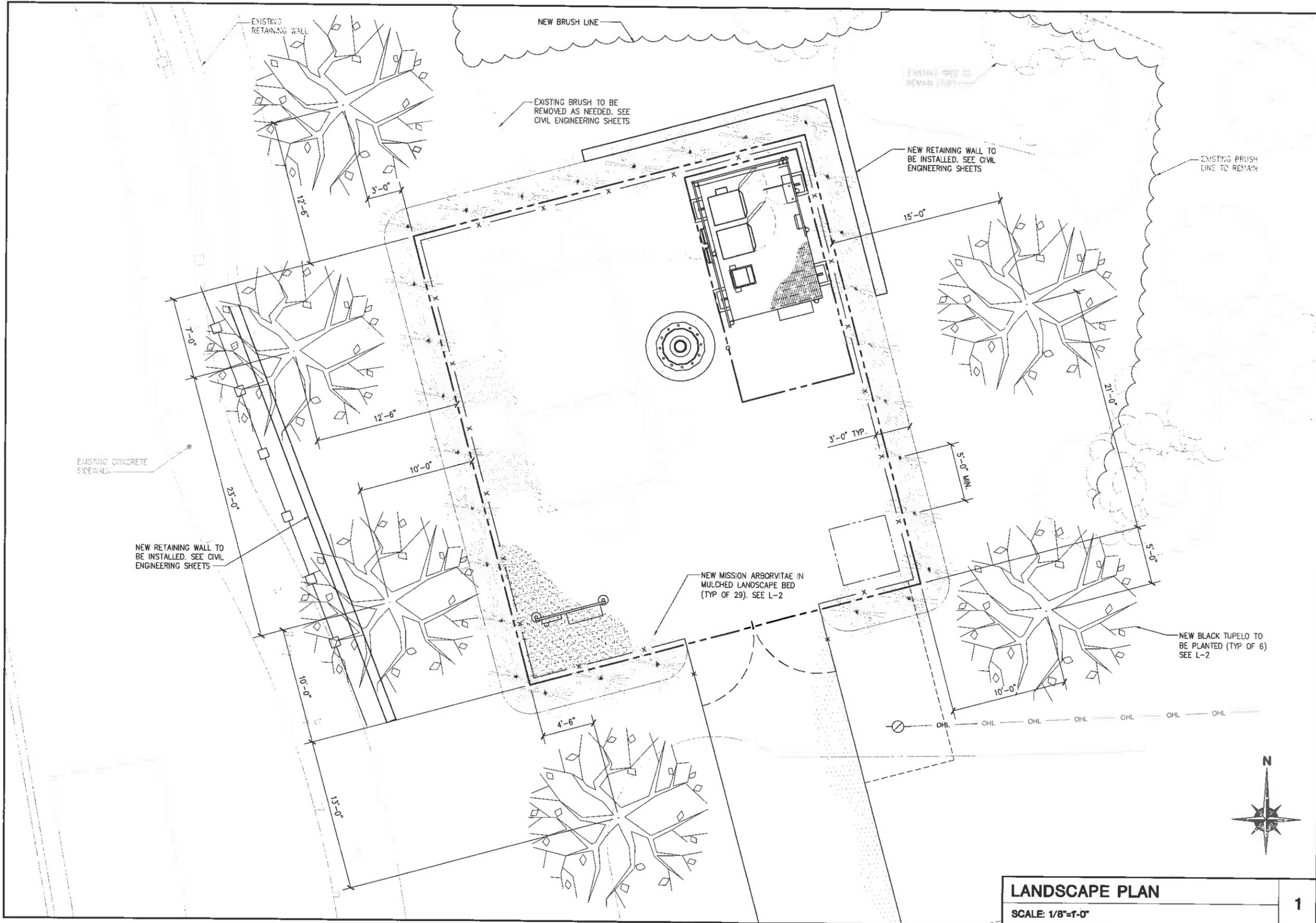
SHEET TITLE:

**FENCE DETAILS**

SHEET NUMBER:

**C-5**

PLOT SCALE: 1:1 @ 11"x17"



**LANDSCAPE PLAN**

SCALE: 1/8"=1'-0"

1

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WIRELESS INFRASTRUCTURE  
2875 Pratom Avenue  
Hoffman Estates, Illinois 60192  
PH: (224) 253-4333 FAX: (224) 253-4444  
www.wtengineering.com  
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SEAL:  
  
JEFFERY GUTOWSKY  
PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
LICENSE # 062-047235  
EXPIRES: 11/30/2017 SIGNED: 08/01/16

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03/15/16	REVISION	SC	F
04/07/16	REVISION	NN	G
06/13/16	REVISION	XLS	H
06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	D

SITE INFORMATION:  
**CH92341A**  
**SISTERS OF ST. JOSEPH**  
1515 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**L-1**

PLOT SCALE: 1:1 @ 11"x17"

**LANDSCAPE GENERAL NOTES:**

ALL PLACEMENT OF LANDSCAPING SHALL MEET THE FOLLOWING CONDITIONS:

1. ALL PLANT MATERIAL SHALL BE PLANTED IN A MANNER WHICH IS NOT TO INTERFERE WITH OVERHEAD WIRES OR BE INTRUSIVE TO UTILITIES OR PAVEMENT.
2. NO TREES OR OTHER LANDSCAPING SHALL BE LOCATED CLOSER THAN 10 FEET TO A FIRE HYDRANT OR OTHER ABOVE GROUND UTILITIES.
3. NO LANDSCAPING SHALL INTERFERE WITH SITE REQUIREMENTS FOR SAFE INGRESS AND EGRESS.

INSTALLATION STANDARDS:

1. PLANT MATERIAL SHALL CONFORM WITH THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN FOR THAT TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION.
2. ALL TREES SHALL BE GROWN IN A NURSERY LOCATED IN THE STATE OF ILLINOIS.
3. ALL PLANT MATERIAL SHALL BE INSTALLED FREE OF DISEASE AND IN A MANNER THAT ENSURES THE AVAILABILITY OF SUFFICIENT SOIL AND WATER TO SUSTAIN HEALTHY GROWTH.
4. ALL TAGS, WIRES, PLASTIC TIES AND ROPE SHALL BE CUT FROM EACH TREE TO PREVENT GIRDLING OF THE TREE. THE BURLAP SHALL BE PULLED BACK FROM THE UPPER THIRD OF THE ROOTBALL. IF A PLASTIC 'BURLAP' IS USED, IT SHALL BE REMOVED IN ITS ENTIRETY FROM THE ROOTBALL.
5. ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF DEPTH OF THREE (3) INCHES OF MULCHED MATERIAL AND A DIAMETER OF THREE (3) FEET AROUND THE BASE OF THE TREE.
6. TREES SHALL BE STAKED WITH POSTS AND NOT STAKES IN AREAS OF HIGH WIND FOR ONE TO THREE YEARS TO ALLOW THE GROWTH OF PROPOSED ROOTS TO STABILIZE. ALL ROPES SHALL BE COVERED TO PREVENT CUTTING INTO THE BARK.
7. ANY EXCESS SOIL, CLAY, OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PLANTING SITE, PRIOR TO PLANTING OF INDIVIDUAL TREES AT FINAL GRADE.
8. THE JURISDICTION, AT ITS DISCRETION, HAS THE RIGHT TO RETAIN A PROFESSIONAL LANDSCAPE ARCHITECT OR ARBORIST TO REVIEW SUBMITTED LANDSCAPE PLAN AND THE PROFESSIONAL LANDSCAPE ARCHITECT OR ARBORIST WILL SUBMIT A WRITTEN REPORT TO THE PLANNING AND ZONING COMMISSION. ALL EXPENSES INCURRED BY THE JURISDICTION FOR THE USE OF THE LANDSCAPE ARCHITECT OR ARBORIST SHALL BE REIMBURSED BY THE DEVELOPER.

PLANTING SEASONS:

1. PLANTS MUST BE PLANTED DURING THE FOLLOWING DATES: APRIL 1ST TO MAY 15TH AND SEPTEMBER 1ST TO OCTOBER 1ST.
2. THE PLANTING PERIODS INDICATED MAY BE EXTENDED DUE TO WEATHER CONDITIONS OR OTHER FACTORS, WHICH MUST BE APPROVED BY THE LANDSCAPE ARCHITECT/ENGINEER.
3. THE CONTRACTOR WILL BE RELIEVED FOR HIS GUARANTEE RESPONSIBILITY SHOULD THE OWNER REQUIRE PLANT MATERIAL INSTALLATIONS TO BE COMPLETED DURING OTHER TIMES THAN THE PLANTING PERIODS INDICATED.

PLANTING:

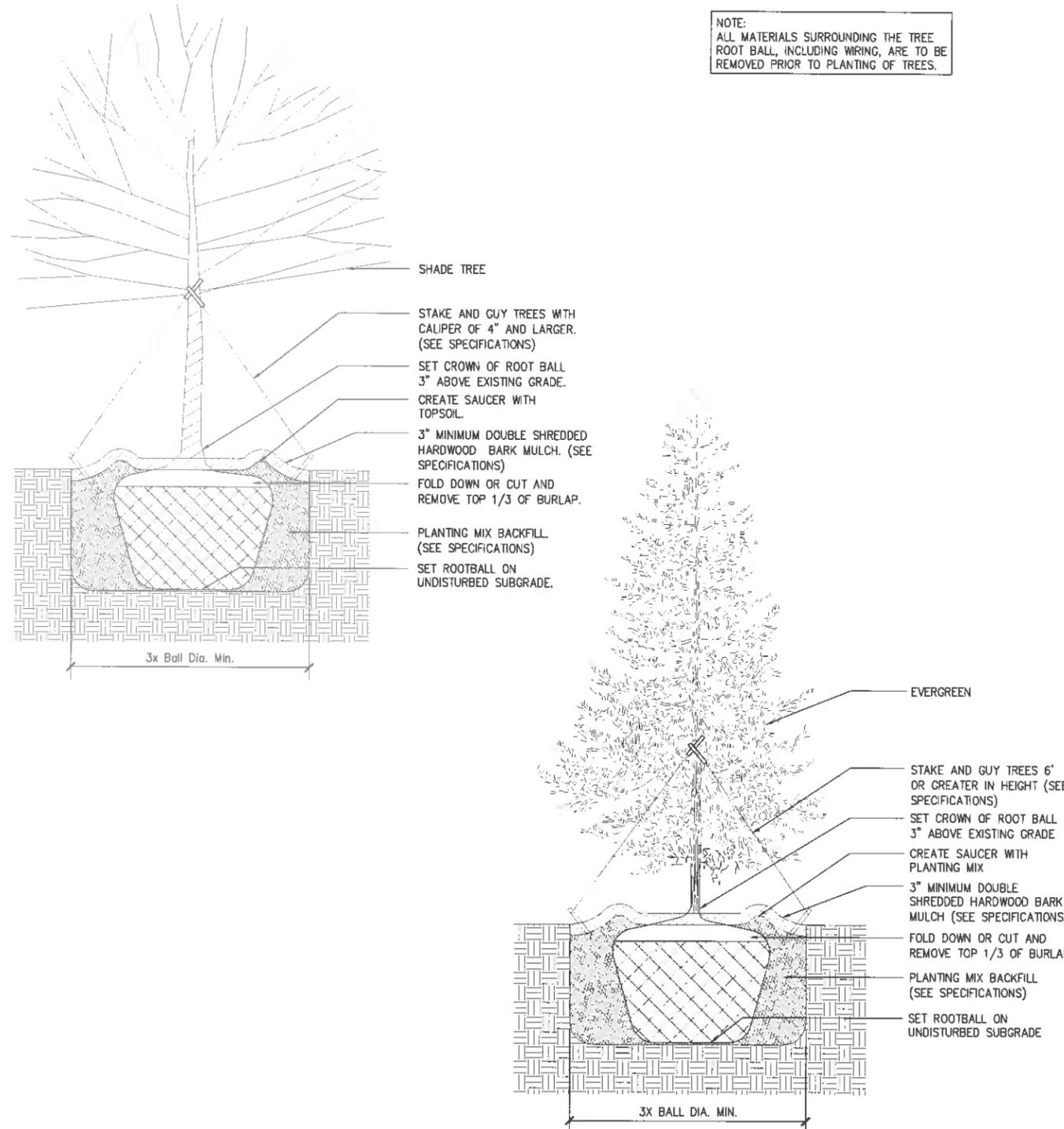
1. ALL SHADE TREES, ORNAMENTAL TREES, EVERGREEN TREES AND SHRUBS SHALL BE PLANTED IN HOLES EXCAVATED AT LEAST 3x THE WIDTH OF THE DIAMETER OF THE BALL OR CONTAINER AND DEEP ENOUGH SO THAT THE TOP OF THE BALL OR SOIL IN THE CONTAINER IS AT OR JUST ABOVE EXISTING GRADE.
2. ALL TWINE OR ROPE MUST BE CUT AND REMOVED AND THE BURLAP FOLDED AWAY FROM THE TOP OF THE BALL. THE EXCAVATION MUST BE BACKFILLED WITH THE PLANTING MIXTURE AND WATERED. ANY SETTLEMENT WILL BE FILLED WITH PLANTING MIXTURE.
3. A 4" DEEP SAUCER, SIMILAR TO THE DIAMETER OF THE PLANTING HOLE SHALL BE CREATED USING PLANTING MIX.
4. PLANTING MIX TO CONSIST OF 1/3 TOP SOIL, 1/3 SOIL FROM EXCAVATION, AND 1/3 MUSHROOM COMPOST (OR 1/3 PEAT MOSS).

CLEAN UP:

1. ALL DEBRIS GENERATED DURING THE INSTALLATION OF PLANT MATERIALS MUST BE REMOVED FROM THE SITE.
2. ALL PAVEMENTS AND WALKS MUST BE SWEEPED AFTER EACH DAYS WORK. UPON COMPLETION OF THE WORK, ALL PAVEMENTS MUST BE WASHED TO REMOVE ALL MUD OR DIRT.

LANDSCAPE CHART						
QTY.	COMMON NAME	SCIENTIFIC NAME	HT. AT INSTALL	SPACING	ROOT BALL	OVERALL PROJECTED HEIGHT
29	MISSION ARBORVITAE	thuja occidentalis 'mission'	6'-0"	5'-0" MIN. O.C.	B/B	10'-0"
6	BLACK TUPELO	nyssa syvatico	15'-0"	N/A	B/B	30'-0" TO 50'-0"

NOTE:  
ALL MATERIALS SURROUNDING THE TREE ROOT BALL, INCLUDING WIRING, ARE TO BE REMOVED PRIOR TO PLANTING OF TREES.



**TREE DETAILS**  
SCALE: NONE



PLANS PREPARED BY:  
**W-T**  
**W-T COMMUNICATION DESIGN GROUP, LLC.**  
WIRELESS INFRASTRUCTURE  
2875 Pratum Avenue  
Hoffman Estates, Illinois 60182  
PH: (224) 293-8333 FAX: (224) 293-8444  
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SEAL:  
  
JEFFERY S. GUTWORSKY  
PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
LICENSE # 082-047235  
EXPIRES: 11/30/2017 SIGNED: 08/01/16

DATE	DESCRIPTION	BY	REV
08/05/15	LEASE EXHIBIT	JTB	A
08/10/15	PER CLIENTS COMMENTS	DAY	B
08/27/15	REVISION	JS	C
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04/07/16	REVISION	NN	G
06/13/16	REVISION	KLS	H
08/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	0

SITE INFORMATION:  
**CH92341A**  
**SISTERS OF ST. JOSEPH**  
1615 OGDEN AVENUE  
LA GRANGE PARK, IL 60528  
W-T JOB NUMBER: T1505246

SHEET TITLE:  
**LANDSCAPE DETAILS**

SHEET NUMBER:  
**L-2**

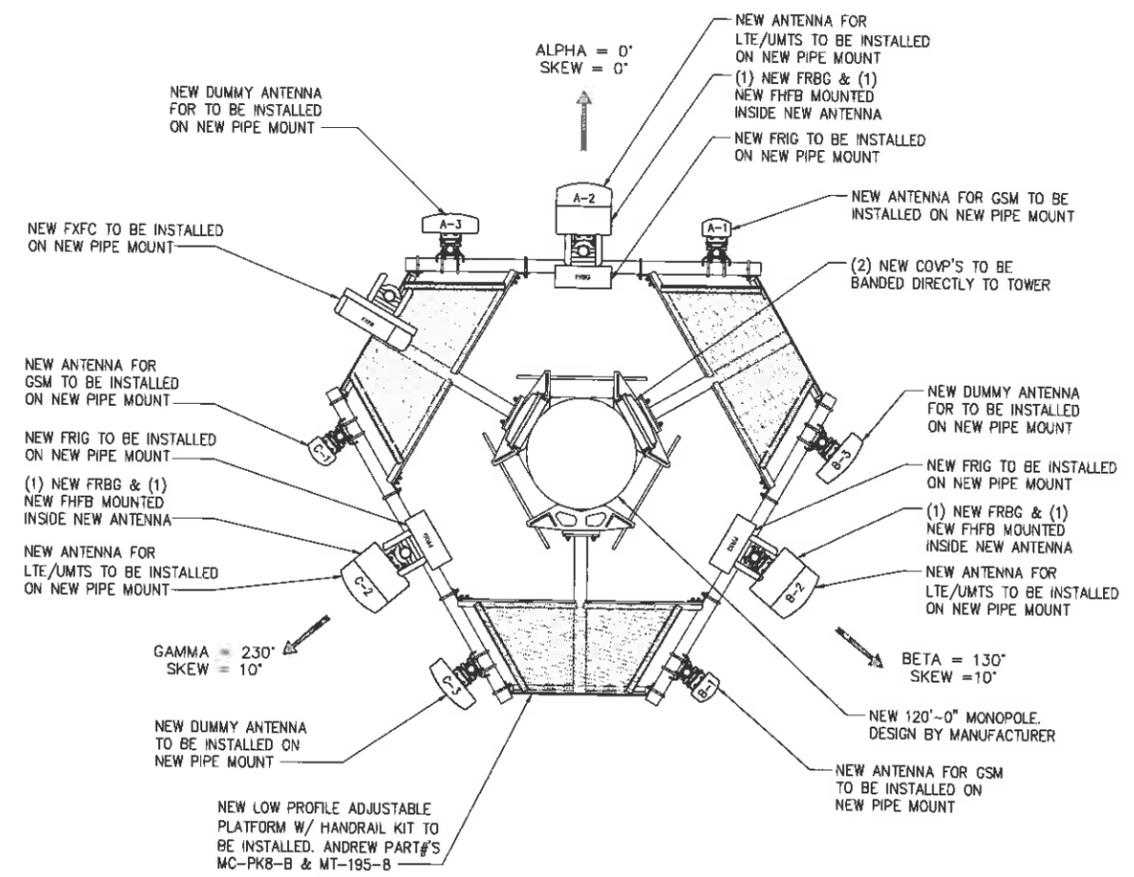
PLOT SCALE: 1:1 @ 11"x17"



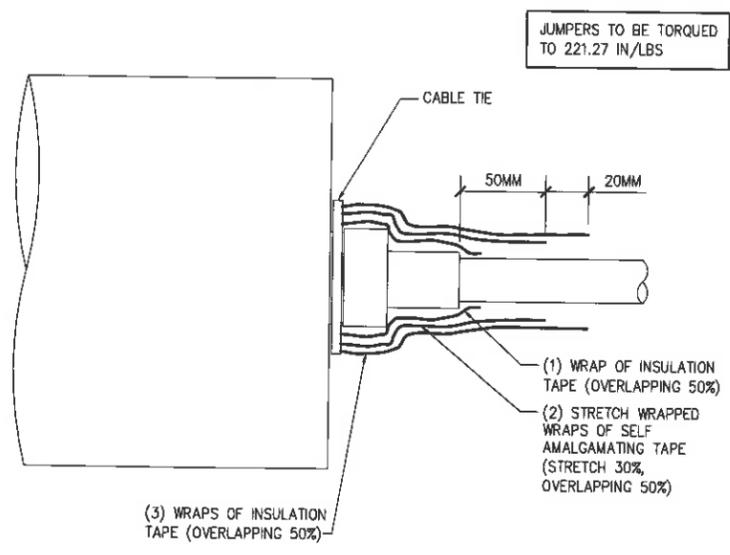
ANTENNA & CABLE SCHEDULE														
SECTOR	ALPHA				BETA				GAMMA					
LOCATION	A-3	A-2	A-1	B-3	B-2	B-1	C-3	C-2	C-1					
TECHNOLOGY	0°				130°				230°					
RAD CENTER	120'-0"				120'-0"				120'-0"					
COLOR CODING	RED (3-12)				GREEN (3-12)				BLUE (3-12)					
MODEL #	CMA-BDHH/6521/0-6/RMU/TB05		NOKIA FASB (PENTA)		CMA-B/6521/EO-6/RMU/TB05		CMA-BDHH/6521/0-6/RMU/TB05		NOKIA FASB (PENTA)		CMA-B/6521/EO-6/RMU/TB05			
ACTIVE TECHNOLOGY	DUMMY	L700	L1900	L1900	L2100	L2100	G1900	DUMMY	L700	L1900	L1900	L2100	L2100	G1900
MECHANICAL DOWNTILT	0				0				0					
ELECTRICAL DOWNTILT	2				2				2					
RRU TYPE	-		(1) FRIG (1) FRBG (INTERNAL) (1) FHFB (INTERNAL)		(1) FXFB		-		(1) FRIG (1) FRBG (INTERNAL) (1) FHFB (INTERNAL)		SHARED FXFB		-	
FIBER JUMPER LENGTH	-				15'-0"				-					
RF JUMPER LENGTH	-				6'-0"				-					
HCS DIA. & TYPE	(2) 1.584" HIGH CAPACITY				-				-					
HCS ACTUAL LENGTH	±135'-0"				-				-					
HCS FACTORY LENGTH	150'-0"				-				-					

NOTE:  
W-T'S SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR STRUCTURE. NEW ANTENNAS AND EQUIPMENT SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS. PRIOR TO ANY ANTENNA OR EQUIPMENT INSTALLATION, A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING SYSTEMS & HARDWARE SHALL BE PERFORMED.

NOTE:  
ANTENNA INFORMATION OBTAINED FROM T-MOBILE RF DATA CONFIGURATION SHEET DATED 07/20/16.



**ANTENNA PLAN**  
SCALE: 1/4"=1'-0" 1



**RF JUMPER CONNECTION DETAIL**  
SCALE: NONE 2

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WIRELESS INFRASTRUCTURE  
2876 Parkton Avenue  
Hoffman Estates, Illinois 60132  
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SEAL:  
**JEFFERY S. GUTOWSKY**  
062-047235  
REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS  
JEFFERY GUTOWSKY  
PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
LICENSE # 062-047235  
EXPIRES: 11/30/2017 SIGNED: 06/01/16

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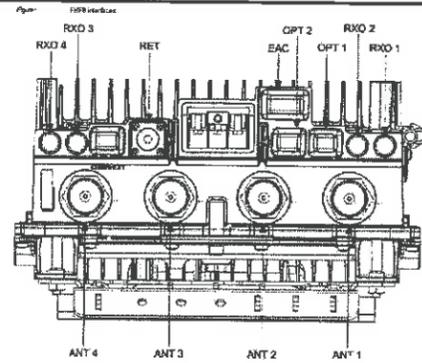
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**SISTERS OF ST. JOSEPH**  
1615 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

SHEET TITLE:  
**ANTENNA PLAN**

SHEET NUMBER:  
**A-2**

PLOT SCALE: 1:1 @ 11"x17"





Height	With lower bracket: 672 mm (26.5 in.) Without lower bracket: 637 mm (25.1 in.) Without brackets: 585 mm (23.0 in.)
Depth	200 mm (7.9 in.)
Width	Without solar shield: 320 mm (12.6 in.)
Weight	With lower bracket: 23 kg (51.0 lbs) Without solar shield and mounting shroud: 22 kg (48.5 lbs)

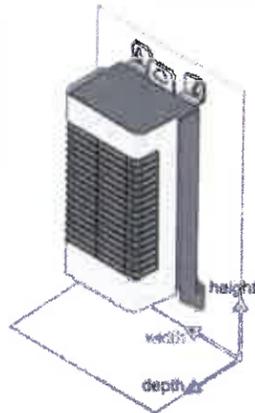
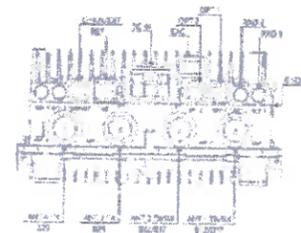


TABLE 1: FHFB interfaces

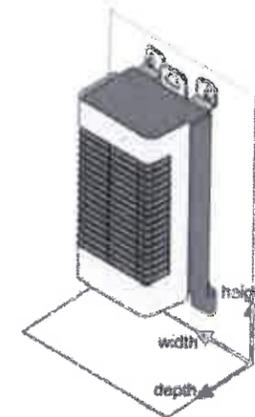
Interface	Label on the HW	Number of interfaces	Connector type	Additional info
Power connector	DC IN	1	3-pole screw terminal	
Antenna connector	ANT	4	7/16	
RF external connector	Rx EXT	4	QMA	
Remote Electrical TR	RET	1	8-pin circular	
External Alarm Connection	EAC	1	D-sub MDR14	
Optical interface	OPT	3	SFP	
Local Management Port	LMP	1	2x15 pin header	

Antenna Line Devices (ALDs) support

<b>FHFB</b>	1
SCALE: NONE	

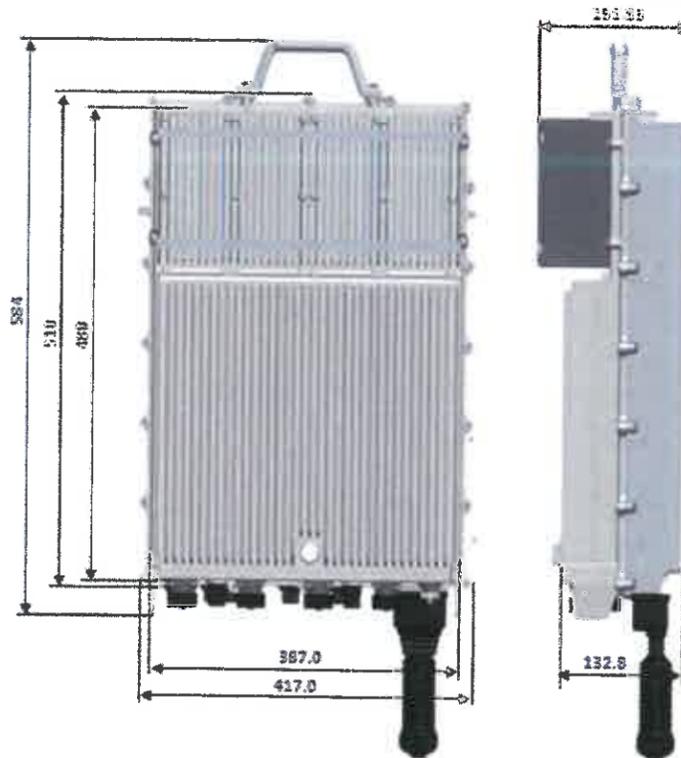


Height	Core RRP: 583 mm (23.0 in.) With upper and lower mounting brackets: 608 mm (23.9 in.)
Depth	Core RRP: 168 mm (6.6 in.) With plastic cover and mounting brackets: 200 mm (7.9 in.)
Width	Core RRP: 320 mm (12.6 in.) With plastic cover and mounting brackets: 331 mm (13.0 in.)
Weight	Core RRP: 34 kg (75.0 lbs) With plastic cover and mounting brackets: 36 kg (79.3 lbs)
Volume	With cover: 33 l Without cover: 27 l

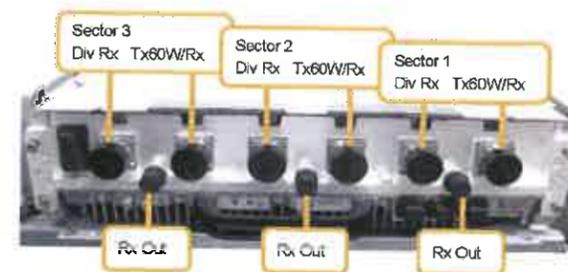
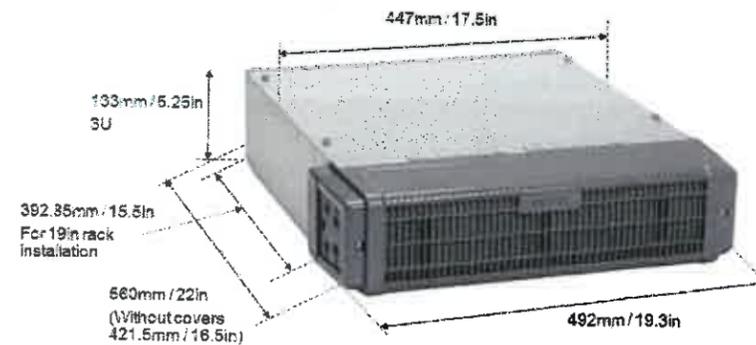


Interface	Label on the HW	Number of interfaces	Connector type	Additional info
Power connector	DC IN	1	3-pole screw terminal	
Antenna connector	ANT	4	7/16	
RF external connector	Rx EXT	2	QMA	
Remote Electrical TR	RET	1	8-pin circular	
External Alarm Connection	EAC	1	D-sub MDR14	
Optical interface	OPT1, OPT2, OPT3, OPT4	4	SFP	6 Gbps, QSFP
Grounding	Ground	1	CR-01 dual 60 screws	GRD

<b>FRBG</b>	2
SCALE: NONE	



<b>FRIG</b>	3
SCALE: NONE	



<b>FRFB</b>	4
SCALE: NONE	

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PH: (224) 293-8333 FAX: (224) 293-6444  
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SEAL:

JEFFERY S. GUTOWSKY  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
LICENSE # 062-047235  
EXPIRES: 11/30/2017 SIGNED: 08/01/16

DATE	DESCRIPTION	BY	REV
08/05/15	LEASE EXHIBIT	JTB	A
08/10/15	PER CLIENTS COMMENTS	DAY	B
08/27/15	REVISION	JS	C
09/02/15	REVISION	JS	D
12/09/15	REVISION	RSM	E
03/15/16	REVISION	SC	F
04/07/16	REVISION	NN	G
06/13/16	REVISION	KLS	H
06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	D

SITE INFORMATION:  
**CH92341A**  
**SISTERS OF ST. JOSEPH**  
1515 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

SHEET TITLE:  
**EQUIPMENT SPECIFICATIONS**

SHEET NUMBER:  
**A-3.1**

PLOT SCALE: 1:1 @ 11"x17"

**RAN Template:** 731A\_Rex\_GSM\_TTRRU | **All Template:** Custom | **CH92341A\_0.1\_Capacity-L1900**

**Section 1 - Site Information**

Site ID: CH92341A  
 Name: Final  
 Revision: 0.1  
 Project Type: Capacity L1900  
 Approved By: GSM10003464641  
 Approved Date: 7/26/2016 1:02:21 PM  
 Last Modified By: GSM10003464641

Site Name: Sisters of St. Joseph  
 Address: 1515 W. Grange Ave.  
 City: Chicago, IL  
 State: IL  
 Zip: 60626

Latitude: 41.8263100  
 Longitude: -87.6324790  
 Address: 1515 W. Grange Ave.  
 City: Chicago, IL  
 State: IL  
 Zip: 60626

**RAN Template:** 731A\_Rex\_GSM\_TTRRU | **All Template:** Custom

Number of Sites: 3 | Number of Cells: 15 | Core Line Count: 0 | TRF Count: 0 | PRU Count: 4

**RAN Template:** 731A\_Rex\_GSM\_TTRRU | **All Template:** Custom | **CH92341A\_0.1\_Capacity-L1900**

**Section 5 - RAN Equipment**

**Existing RAN Equipment**  
 This section is intentionally blank.

**Proposed RAN Equipment**  
 Template: 731A\_Rex\_GSM\_TTRRU

Equipment	1	2	3	4	5
Equipment Type	Auxiliary Equipment	Outdoor Cabinet	RAN	Tower Top Mount	On-site Site Support Cabinet
Manufacturer		FSAN FSAN FSAN LS1001 LS1001 LS1001 LS1001 ESANB LS1001			
Manufacturer Submodel		FBDC FBDC FBDC LS1001 LS1001 LS1001 FBDA LS1001			
Hybrid Cabinet	NON High Cap HCS 1000 (R)				
Antenna Type	Large COVP (60)			Large COVP (60)	
Power Subsystem					
Notes			(Battery "Backup site") (Breakers "Backup site") (DIN 7700 "Backup site") (Rectifier Shelf "Backup site")		

**RAN Template:** 731A\_Rex\_GSM\_TTRRU | **All Template:** Custom

7/26/2016 updated by GSM10003464641

**RAN Template:** 731A\_Rex\_GSM\_TTRRU | **All Template:** Custom | **CH92341A\_0.1\_Capacity-L1900**

**Section 6 - A&L Equipment**

**Existing Template:** Custom  
**Proposed Template:** Custom

**Section 1 (Proposed) view from front (Note: the images show view from behind)**

Coverage Type	A - Outdoor Macro					
Antenna	1		2			
Antenna Model	OMA-E1621E0-6RMLU1B05 (Dual)		None FASB RAS (Penta)			
Antenna	130		130			
St. Ht.	0		0			
Height	120		120			
Ports	P1		P2	P3	P4	P5
Active Tech.	G1000		L700	U1900	U1900	L2100
Bank Tech.						
Deployment Tech.						
Deployment Tech.						
E. TB	2		2	2	2	2
Cells						
Notes						
Deployment / Conductors						
Radio						
Sector						
Deployment						
Deployment Equipment						
Scope of Work						

**Section 2 (Proposed) view from front (Note: the images show view from behind)**

Coverage Type	A - Outdoor Macro					
Antenna	1		2			
Antenna Model	OMA-E1621E0-6RMLU1B05 (Dual)		None FASB RAS (Penta)			
Antenna	130		130			
St. Ht.	0		0			
Height	120		120			
Ports	P1		P2	P3	P4	P5
Active Tech.	G1000		L700	U1900	U1900	L2100
Bank Tech.						
Deployment Tech.						
Deployment Tech.						
E. TB	2		2	2	2	2
Cells						
Notes						
Deployment / Conductors						
Radio						
Sector						
Deployment						
Deployment Equipment						
Scope of Work						

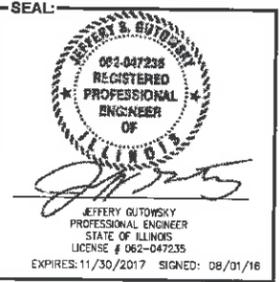
**Section 3 (Proposed) view from front (Note: the images show view from behind)**

Coverage Type	A - Outdoor Macro					
Antenna	1		2			
Antenna Model	OMA-E1621E0-6RMLU1B05 (Dual)		None FASB RAS (Penta)			
Antenna	230		230			
St. Ht.	0		0			
Height	620		120			
Ports	P1		P2	P3	P4	P5
Active Tech.	G1000		L700	U1900	U1900	L2100
Bank Tech.						
Deployment Tech.						
Deployment Tech.						
E. TB	2		2	2	2	2
Cells						
Notes						
Deployment / Conductors						
Radio						
Sector						
Deployment						
Deployment Equipment						
Scope of Work						

**PROPOSED ANTENNA CONFIGURATION SHEET**  
 SCALE: NONE



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 2575 Pratum Avenue  
 Hoffman Estates, Illinois 60182  
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DATE	DESCRIPTION	BY	REV.
08/05/15	LEASE EXHIBIT	JTB	A
08/10/15	PER CLIENTS COMMENTS	DAY	B
08/27/15	REVISION	JS	C
09/02/15	REVISION	JS	D
12/09/15	REVISION	RSM	E
03/15/16	REVISION	SC	F
04/07/16	REVISION	NN	G
06/13/16	REVISION	KLS	H
06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	O

**SITE INFORMATION:**  
**CH92341A**  
**SISTERS OF ST. JOSEPH**  
 1515 OGDEN AVENUE  
 LA GRANGE PARK, IL 60526  
 W-T JOB NUMBER: T1505246

**SHEET TITLE:**  
**RF DATA SHEET**

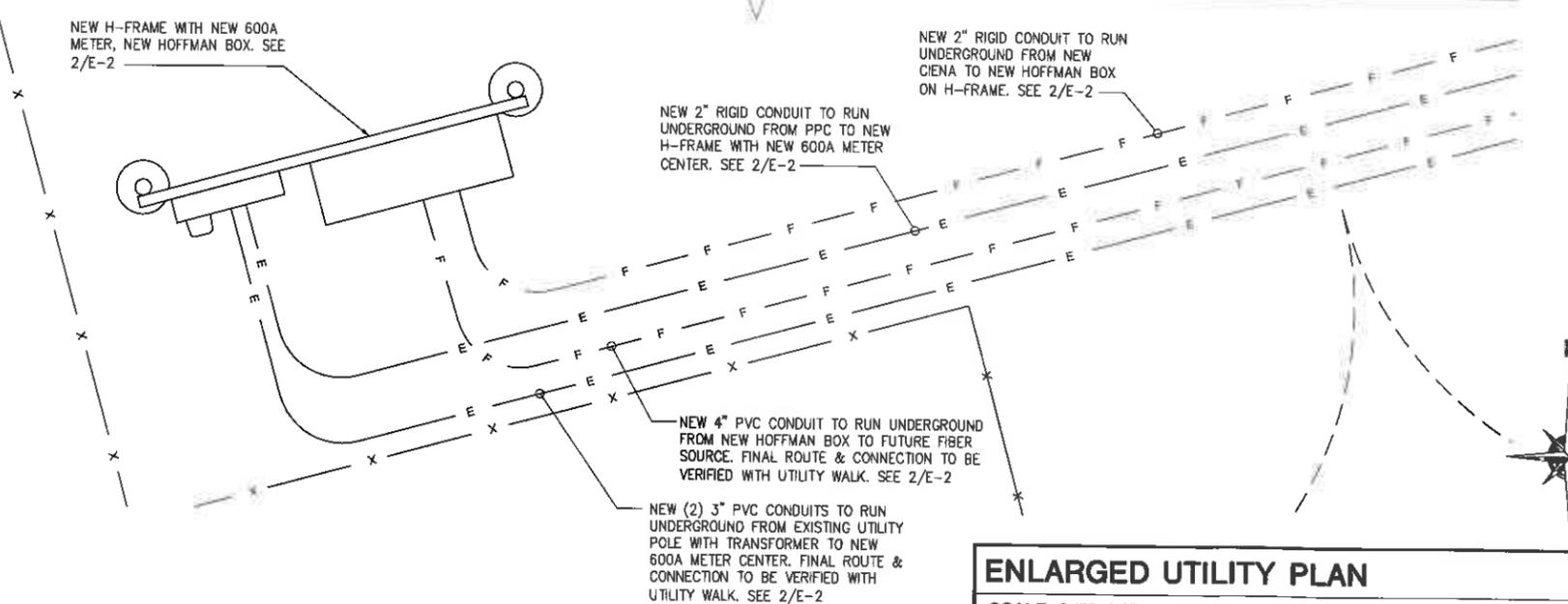
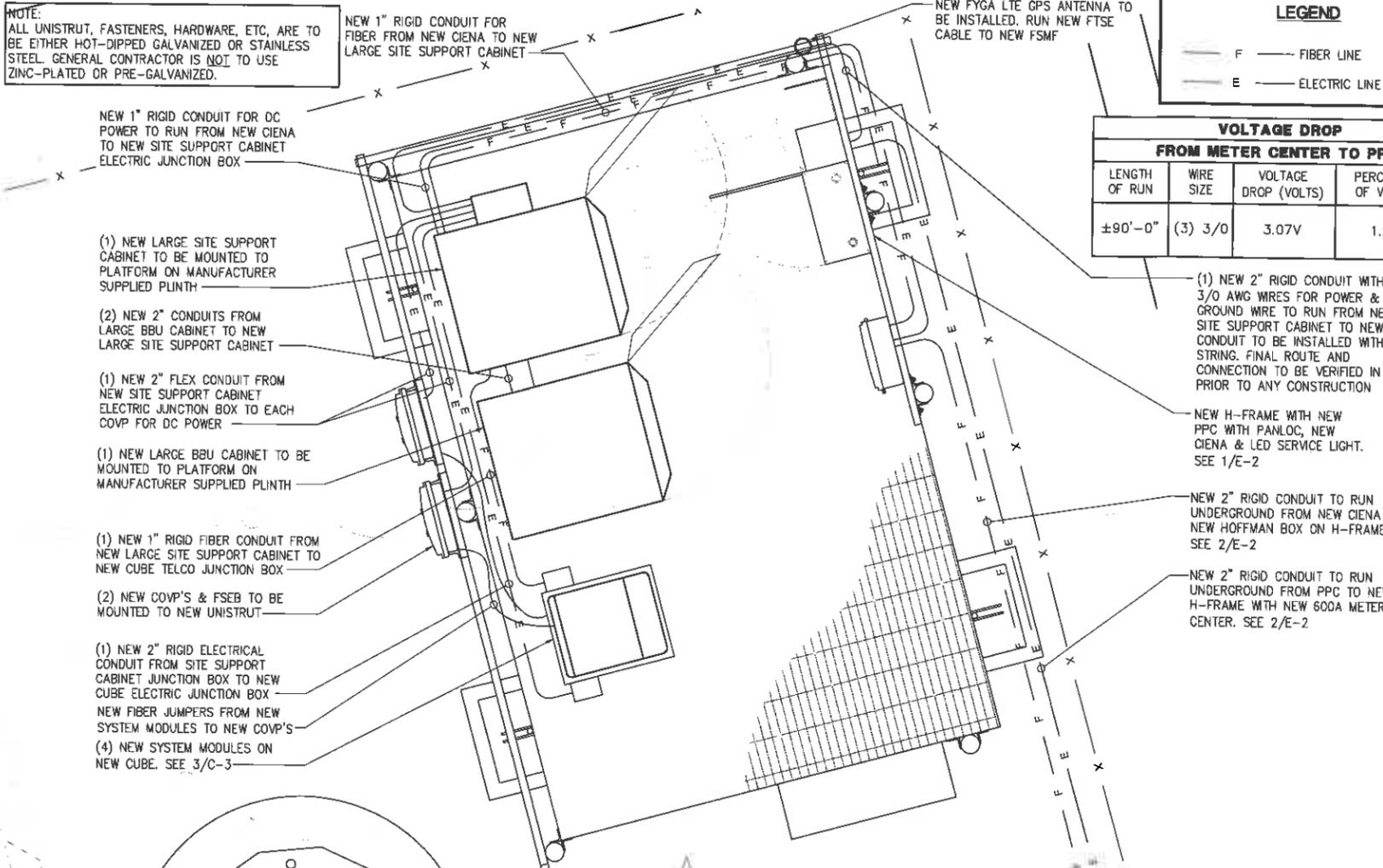
**SHEET NUMBER:**  
**A-4**

**PLOT SCALE:** 1:1 @ 11"x17"





NOTE:  
ALL UNISTRUT, FASTENERS, HARDWARE, ETC. ARE TO BE EITHER HOT-DIPPED GALVANIZED OR STAINLESS STEEL. GENERAL CONTRACTOR IS NOT TO USE ZINC-PLATED OR PRE-GALVANIZED.



**ENLARGED UTILITY PLAN**  
SCALE: 3/8"=1'-0"

1

**LEGEND**

F — FIBER LINE  
E — ELECTRIC LINE

**VOLTAGE DROP**

**FROM METER CENTER TO PPC**

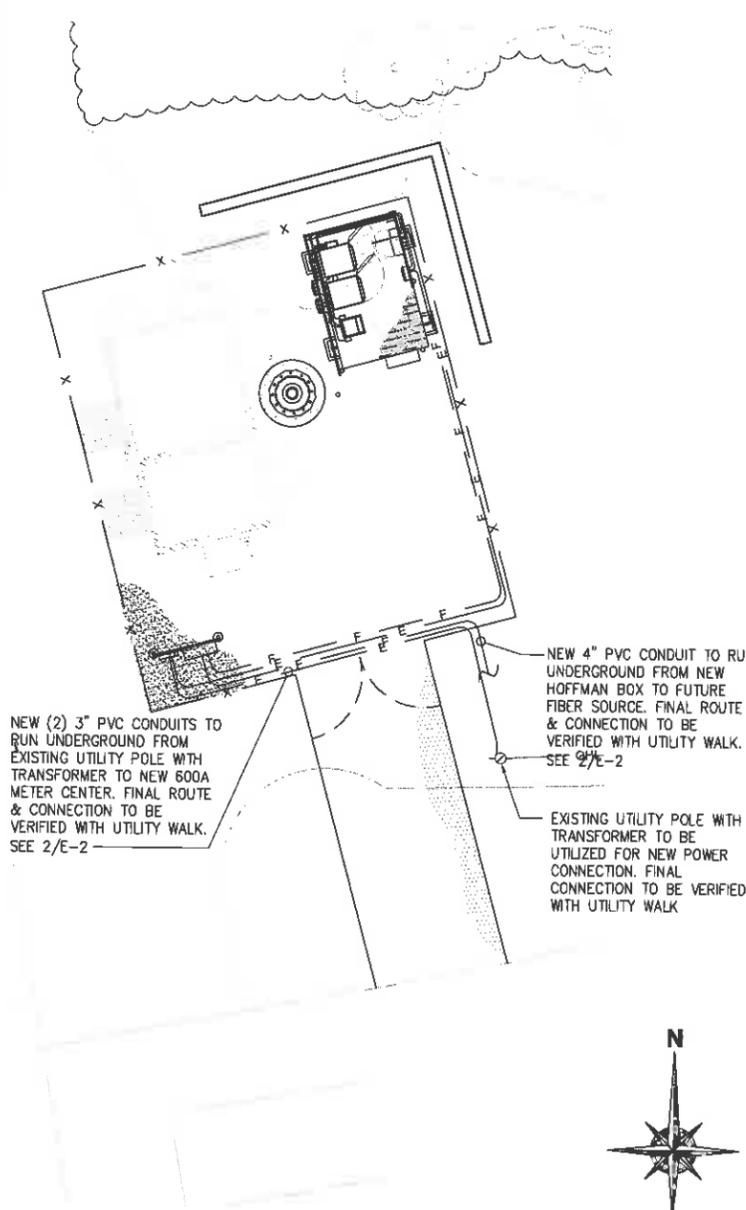
LENGTH OF RUN	WIRE SIZE	VOLTAGE DROP (VOLTS)	PERCENTAGE OF VOLTAGE
±90'-0"	(3) 3/0	3.07V	1.28%

**VOLTAGE DROP**

**FROM UTILITY POLE TO METER CENTER**

LENGTH OF RUN	WIRE SIZE	VOLTAGE DROP (VOLTS)	PERCENTAGE OF VOLTAGE
±95'-0"	(2) RUNS OF (3) 300 MCM	2.78V	1.16%

NOTE:  
ALL UNISTRUT, FASTENERS, HARDWARE, ETC. ARE TO BE EITHER HOT-DIPPED GALVANIZED OR STAINLESS STEEL. GENERAL CONTRACTOR IS NOT TO USE ZINC-PLATED OR PRE-GALVANIZED.



**OVERALL UTILITY PLAN**  
SCALE: 1/16"=1'-0"

2

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WIRELESS INFRASTRUCTURE  
2875 Pratum Avenue  
Hoffman Estates, Illinois 60102  
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SEAL:  
  
JEFFERY GUTOWSKY  
PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
LICENSE # 082-047235  
EXPIRES: 11/30/2017 SIGNED: 08/01/16

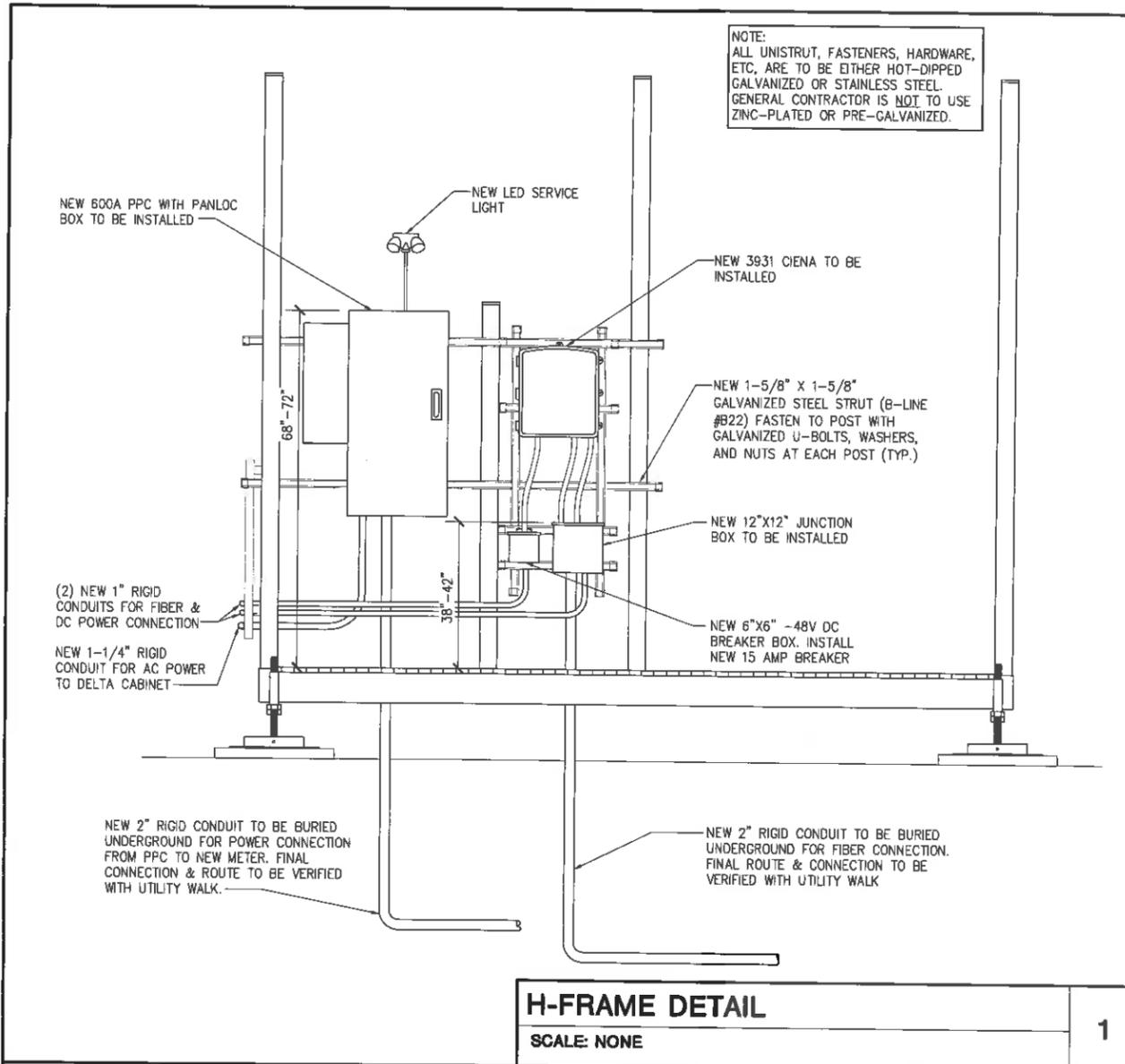
DATE	DESCRIPTION	BY	REV
08/05/15	LEASE EXHIBIT	JTB	A
08/10/15	PER CLIENTS COMMENTS	DAY	B
08/27/15	REVISION	JS	C
09/02/15	REVISION	JS	D
12/09/15	REVISION	RSM	E
03/15/16	REVISION	SC	F
04/07/16	REVISION	NN	G
06/13/16	REVISION	KLS	H
06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	O

SITE INFORMATION:  
**CH92341A**  
**SISTERS OF ST. JOSEPH**  
1515 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

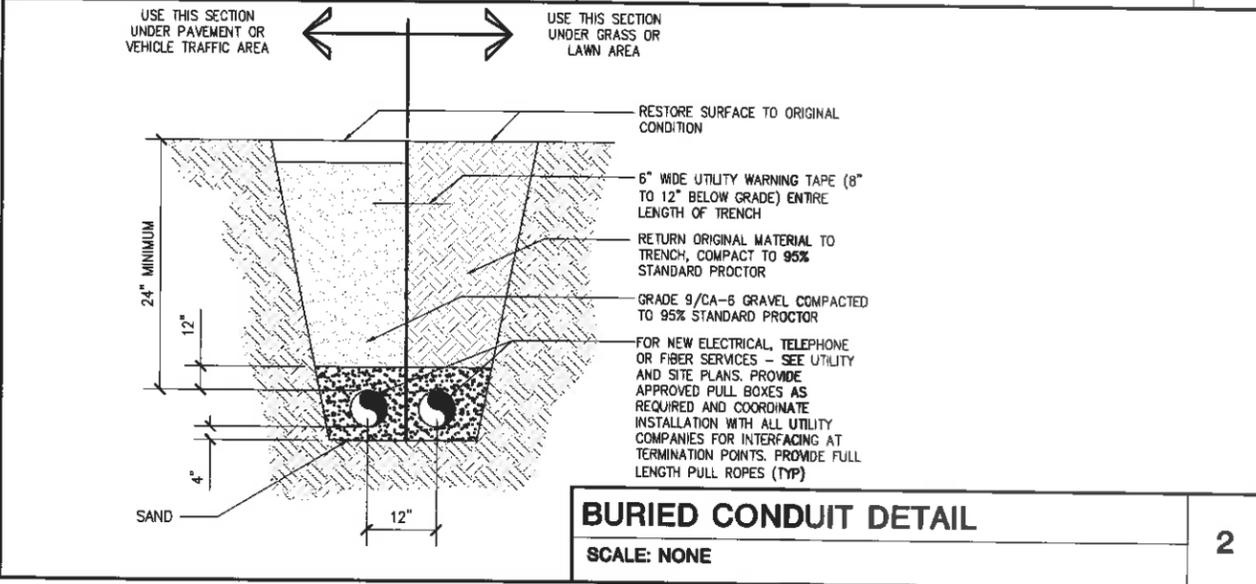
SHEET TITLE:  
**UTILITY PLANS**

SHEET NUMBER:  
**E-1**

PLOT SCALE: 1:1 @ 11"x17"



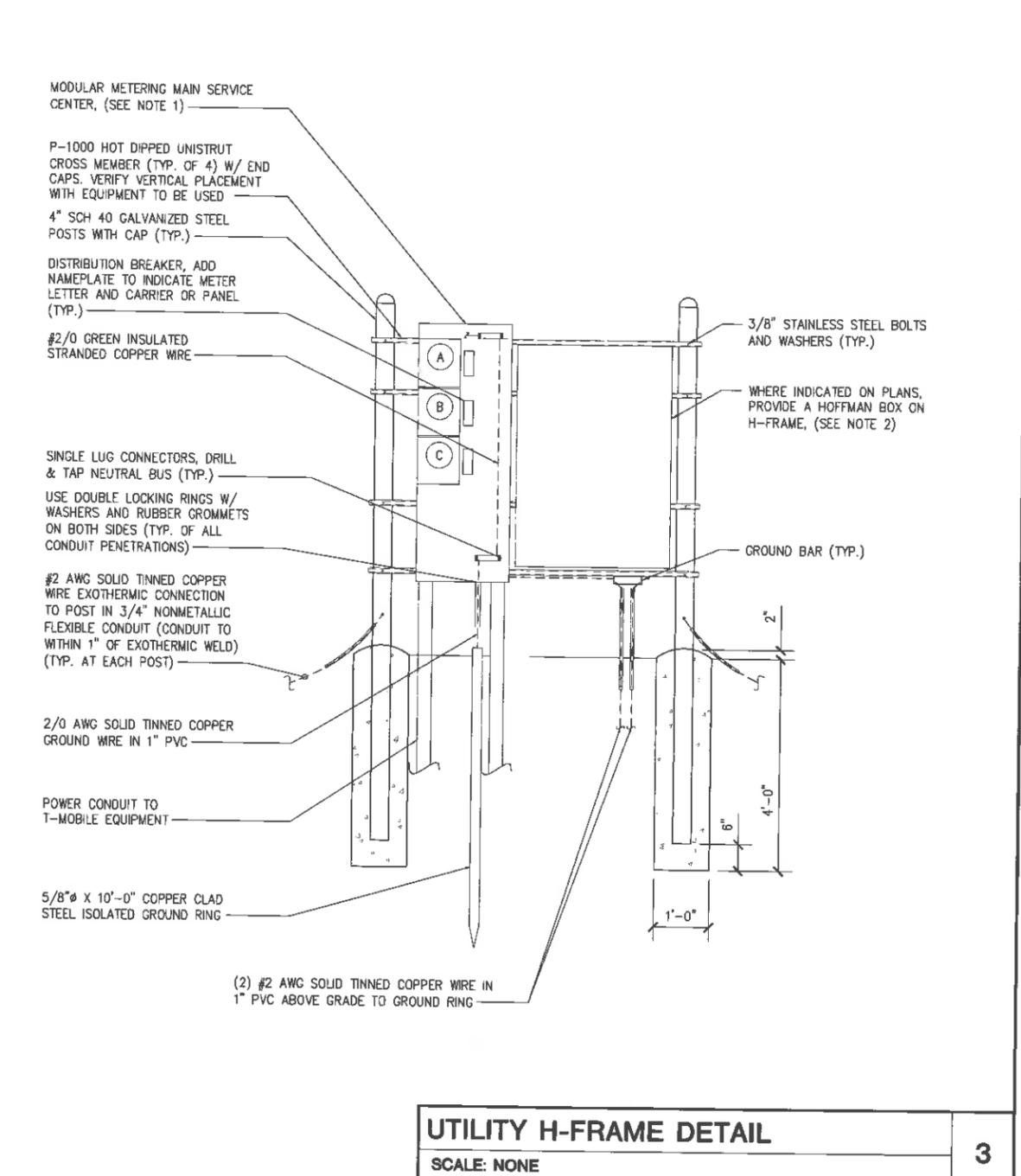
**H-FRAME DETAIL**  
SCALE: NONE 1



**BURIED CONDUIT DETAIL**  
SCALE: NONE 2

- NOTES:
- CONTRACTOR SHALL PROVIDE AND INSTALL MODULAR METERING MAIN SERVICE CENTER, 120/240, 1Ø, 600AMP, NEMA 3R WITH (3) METER SOCKETS (SQUARE D OR EQUAL). METER CENTER SHALL BE FURNISHED WITH (1) 200 AMP CIRCUIT BREAKER TO FEED T-MOBILE EQUIPMENT. OTHER METERS AND BREAKERS SHALL BE COVERED WITH LEXAN METER COVER. SEE SINGLE LINE DIAGRAM FOR ADDITIONAL DETAILS AND NOTES PERTAINING TO METER CENTER.
  - WHERE INDICATED ON PLANS, PROVIDE A TELCO DEMARCATION BOX TO INCLUDE 36\"/>

- NOTE:
- UTILITY METER ENCLOSURE INSTALLATION TO BE COORDINATED WITH THE LOCAL ELECTRICAL PROVIDER
- NOTE:
- ALL UNISTRUT, FASTENERS, HARDWARE, ETC. ARE TO BE EITHER HOT-DIPPED GALVANIZED OR STAINLESS STEEL. GENERAL CONTRACTOR IS NOT TO USE ZINC-PLATED OR PRE-GALVANIZED.



**UTILITY H-FRAME DETAIL**  
SCALE: NONE 3



PLANS PREPARED BY:

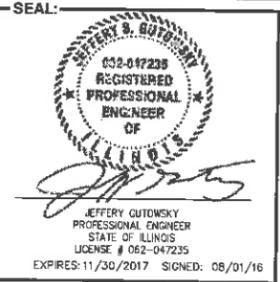
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08/10/15	PER CLIENTS COMMENTS	DAY	B
08/27/15	REVISION	JS	C
09/02/15	REVISION	JS	D
12/09/15	REVISION	RSM	E
03/15/16	REVISION	SC	F
04/07/16	REVISION	NN	G
06/13/16	REVISION	KLS	H
06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	D

SITE INFORMATION:

**CH92341A**

**SISTERS OF ST. JOSEPH**

1515 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

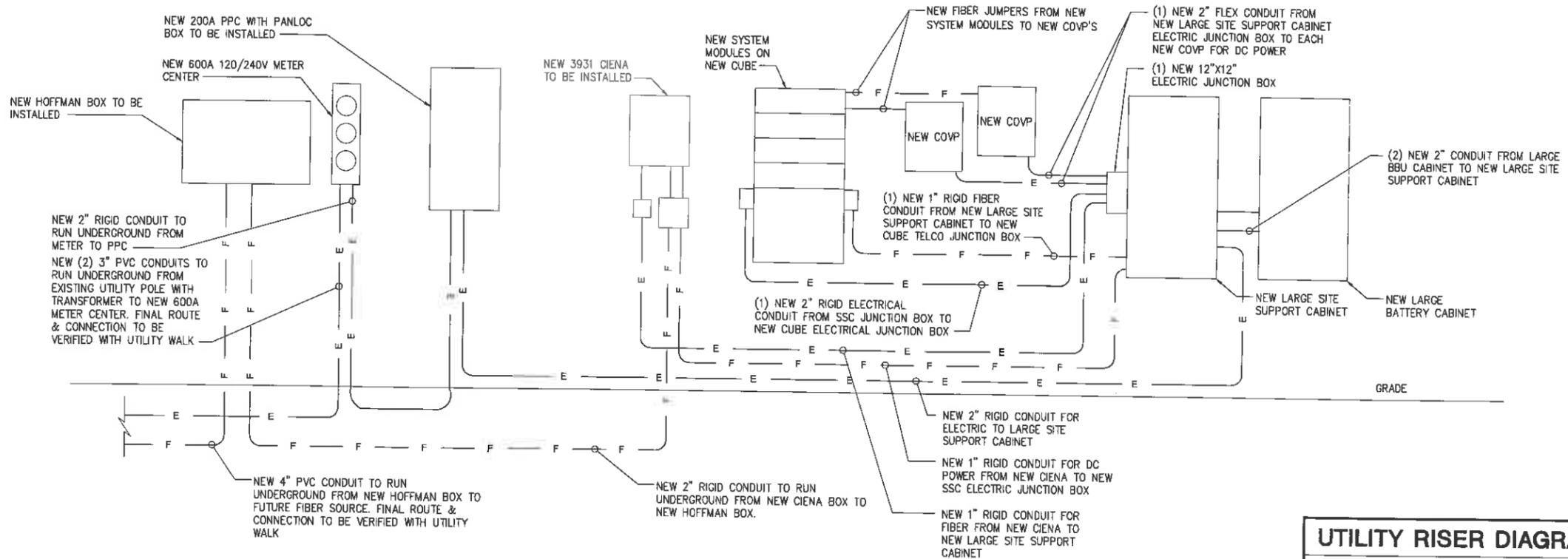
SHEET TITLE:

**H-FRAME & UTILITY DETAILS**

SHEET NUMBER:

**E-2**

PLOT SCALE: 1:1 @ 11"x17"



**UTILITY RISER DIAGRAM**  
SCALE: NONE

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WIRELESS INFRASTRUCTURE  
2875 Platanus Avenue  
Hoffman Estates, Illinois 60192  
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SEAL:  
  
JEFFREY GUTOWSKI  
PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
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12/09/15	REVISION	RSM	E
03/15/16	REVISION	SC	F
04/07/16	REVISION	NN	G
06/13/16	REVISION	KLS	H
06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	D

CKT	LOAD DESCRIPTION	BREAKER AMPS	BREAKER POLES	BREAKER STATUS	SERVICE LOAD VA	USAGE FACTOR	PHASE A VA	PHASE B VA	USAGE FACTOR	SERVICE LOAD VA	BREAKER STATUS	BREAKER POLES	BREAKER AMPS	LOAD DESCRIPTION	CKT
1	SURGE ARRESTOR	20	2	ON	0	1.00	9626		1.00	9626					2
3					0	1.00		9626	1.00	9525					4
6	SERVICE LIGHT	15	1	ON	26	1.00	9561		1.00	9525	ON	4	200	SITE SUPPORT CABINET	6
7				N/A	0	0.00		9626	1.00	9525					8
9				N/A	0	0.00	0		0.00	0	N/A				10
11				N/A	0	0.00		0	0.00	0	N/A				12
13				N/A	0	0.00		0	0.00	0	N/A				14
16				N/A	0	0.00		0	0.00	0	N/A				16
17				N/A	0	0.00		0	0.00	0	N/A				18
19				N/A	0	0.00		0	0.00	0	N/A				20
21				N/A	0	0.00		0	0.00	0	N/A				22
23				N/A	0	0.00		180	1.00	180	ON	1	20	GFI	24
							19076	19230	VA			TOTAL KVA	38.31		
												AMPS	169.61		

NOTE:  
CONTRACTOR TO VERIFY SITE SUPPORT CABINET SERVICE LOAD DOES NOT EXCEED 38,100 WATTS (VA) PRIOR TO CABINET INSTALLATION.

**PANEL SCHEDULE**  
SCALE: NONE

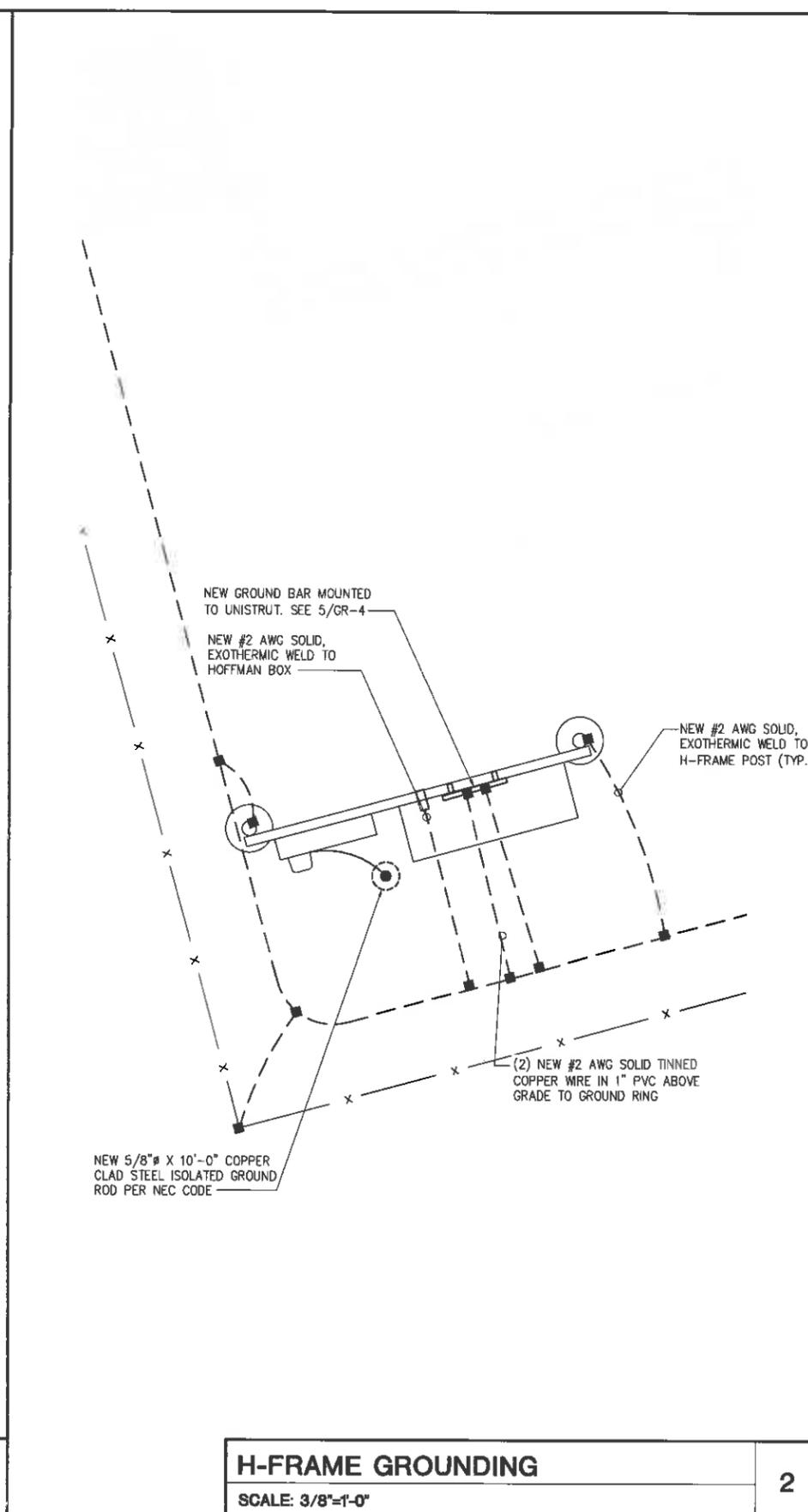
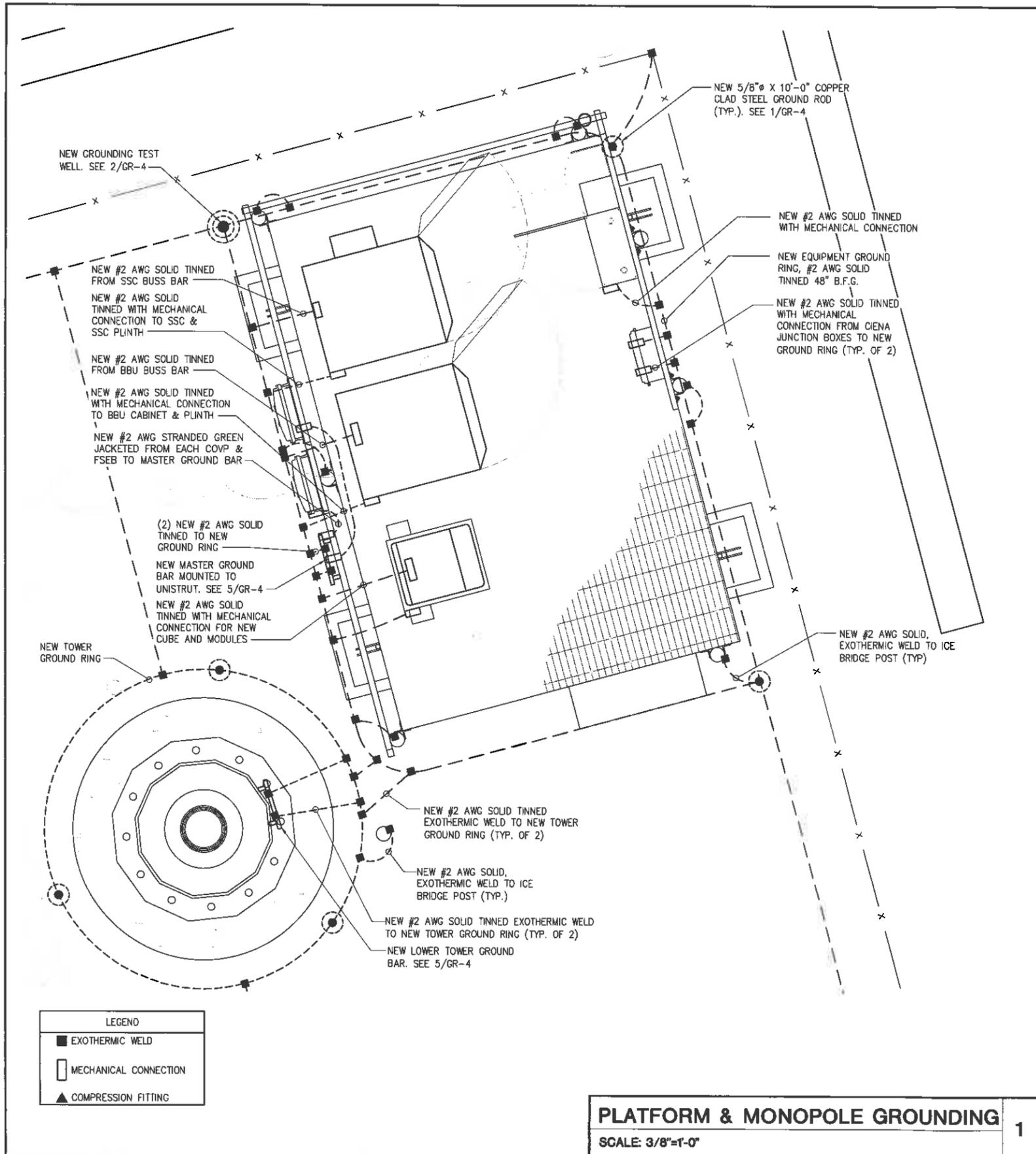
SITE INFORMATION:  
**CH92341A**  
**SISTERS OF ST. JOSEPH**  
1515 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

SHEET TITLE:  
**UTILITY RISER DIAGRAM & PANEL SCHEDULE**

SHEET NUMBER:  
**E-3**

PLOT SCALE: 1:1 @ 11"x17"





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REGISTERED PROFESSIONAL ENGINEER  
OF ILLINOIS  
EXPIRES: 11/30/2017 SIGNED: 08/01/16

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08/10/15	PER CLIENTS COMMENTS	DAY	B
08/27/15	REVISION	JS	C
09/02/15	REVISION	JS	D
12/09/15	REVISION	RSM	E
03/15/16	REVISION	SC	F
04/07/16	REVISION	NN	G
06/13/16	REVISION	KLS	H
06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	O

SITE INFORMATION:  
**CH92341A**  
**SISTERS OF ST. JOSEPH**  
1515 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

SHEET TITLE:  
**GROUNDING PLANS**

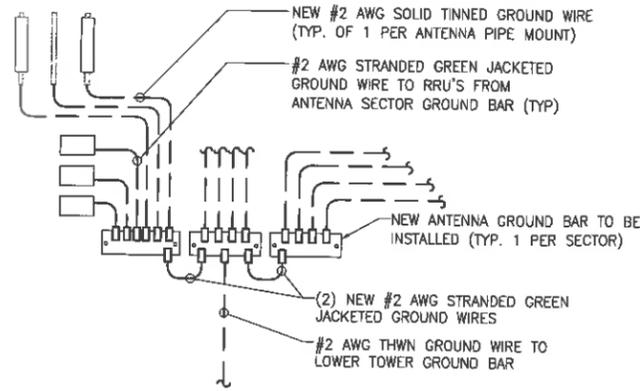
SHEET NUMBER:  
**GR-2**

PLOT SCALE: 1:1 @ 11"x17"

**NOTES:**

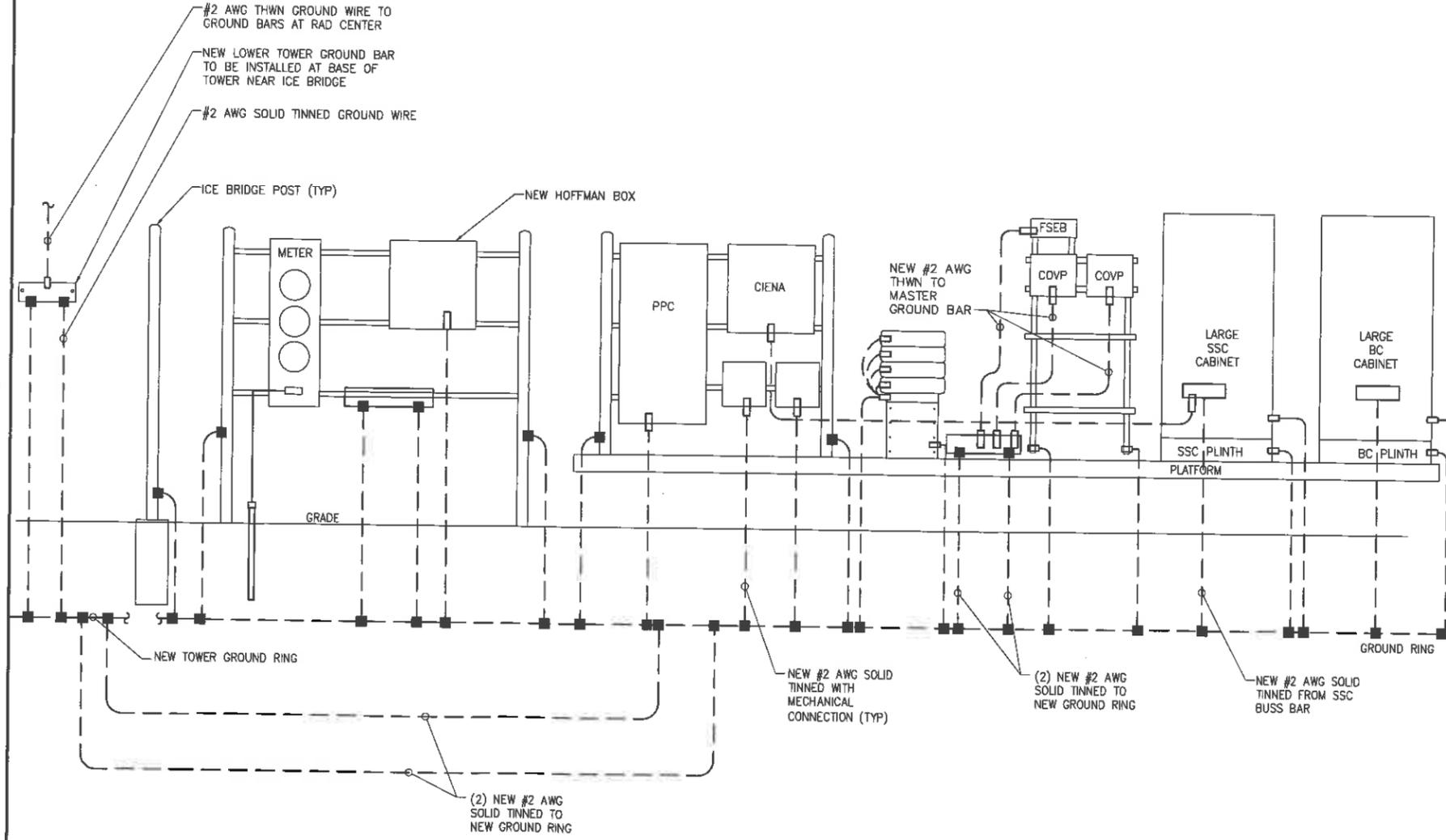
1. ALL ELECTRICAL WORK SHALL CONFORM TO THE BOCA (EDITION ADOPTED BY LOCAL JURISDICTION) AND APPLICABLE LOCAL CODES.
2. GROUNDING SHALL COMPLY WITH ARTICLE 250 OF THE BOCA
3. ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED.
4. WIRES AND CABLES FOR POWER AND LIGHTING SHALL BE COPPER WITH TYPE XHHW, THWN, OR THHN INSULATION. SOLID CONDUCTORS FOR #10 AWG AND SMALLER, STRANDED FOR LARGER THAN #10 AWG. MINIMUM SIZE #12 AWG.
5. WIRES AND CABLES FOR POWER SHALL BE INSTALLED IN GALVANIZED RIGID STEEL CONDUIT OR FLEXIBLE LIQUID TIGHT CONDUIT AS INDICATED ON DRAWING.
6. CONTRACTOR TO OBTAIN ALL PERMITS, PAY PERMIT FEES, AND BE RESPONSIBLE FOR SCHEDULING INSPECTIONS.
7. COORDINATE WITH UTILITY COMPANIES SERVICE ENTRANCE REQUIREMENTS.
8. PROVIDE ALL LABOR AND MATERIAL DESCRIBED ON THIS DRAWING, AND ALL ITEMS INCIDENTAL TO COMPLETING AND PRESENTING THIS PROJECT AS FULLY OPERATIONAL.
9. GROUNDING CONNECTIONS SHALL BE EXOTHERMIC TYPE ("EXOTHERMIC WELD") TO ANTENNA MASTS, AND THE GROUND BARS. REMAINING GROUNDING CONNECTIONS SHALL BE COMPRESSION FITTINGS.
10. GROUND COAXIAL CABLE SHIELDS AT BOTH ENDS WITH COAX CABLE GROUNDING KITS & INSTALL WEATHER PROOFING KIT AT EACH CONNECTION.
11. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLE, ALWAYS MAKE AT LEAST 12" RADIUS BENDS. #6 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY.
12. CONTRACTOR TO PROVIDE GROUND RING AS SHOWN ON GROUNDING SITE PLAN AND GROUNDING RISER DIAGRAM. CONTRACTOR SHALL TEST AND VERIFY THAT THE IMPEDANCE DOES NOT EXCEED 5 OHMS TO GROUND BY MEANS OF A BIDDLE-MEGGER TESTER. GROUNDING AND OTHER OPERATIONAL TESTING SHALL BE WITNESSED BY THE OWNER'S REPRESENTATIVE.
13. CONTRACTOR TO PROVIDE TELEPHONE CONDUIT AS SHOWN ON PLANS.
14. CONTRACTOR TO PROVIDE ELECTRIC CONDUIT AS SHOWN ON PLANS.
15. NOTIFY LOCAL UTILITY SERVICE PRIOR TO ANY INSTALLATION.
16. ALL EQUIPMENT FURNISHED BY OTHERS SHALL BE PROVIDED WITH PROPER MOTOR STARTERS, DISCONNECTS, CONTROLS, ETC. BY THE ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE. THE ELECTRICAL CONTRACTOR SHALL INSTALL AND COMPLETELY WIRE ALL ASSOCIATED EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S WIRE DIAGRAMS AND AS REQUIRED FOR A COMPLETE OPERATING INSTALLATION. ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF EQUIPMENT PRIOR TO ROUGH-IN OF CONDUIT AND WIRING TO AVOID CONFLICTS WHERE APPLICABLE.
17. GROUNDING CONDUCTORS SHALL BE COPPER OR SOLID TINNED COPPER. ALL CONNECTIONS MADE BELOW GRADE SHALL BE SOLID TINNED COPPER. ALL CONNECTIONS ABOVE GRADE STRANDED IS PERMITTED.
18. ALL EXOTHERMIC WELDS ABOVE FINISHED GRADE SHALL BE PAINTED WITH CO-GALVANIZED ZINC ENRICHED PAINT TO MATCH COLOR OBJECT BONDED TO.
19. CONNECT COAX GROUND KITS TO MASTER GROUND BAR AT BASE OF TOWER.
20. CONNECT COAX GROUND KITS TO GROUND BUS AT TOP OF TOWER.
21. CONNECT LNA GROUND TO GROUND BUS AT TOP OF TOWER.
22. ALL GROUNDING CONNECTIONS TO BE MADE USING EXOTHERMIC WELD PROCESS UNLESS OTHERWISE APPROVED BY DESIGNER.
23. ELECTRICAL CONTRACTOR TO PULL BONDING JUMPER AT PURCELL ONLY IF DISCONNECT GROUND IS TIED TO GROUND FIELD INSTEAD OF SEPARATE GROUND ROD.
24. PLAN DRAWINGS SHOWN HEREIN DO NOT NECESSARILY DEPICT ELECTRICAL REQUIREMENTS OF INDIVIDUAL EQUIPMENT AND DEVICES SUCH AS THE EQUIPMENT GROUNDING REQUIREMENTS, POWER REQUIREMENTS AND TELCO RACEWAY REQUIREMENTS.
25. PLAN DRAWINGS SHOWN HEREIN ARE DIAGRAMMATIC AND DO NOT NECESSARILY DEPICT THE EXACT EQUIPMENT QUANTITIES, LOCATION, LAYOUT AND CONFIGURATION. REFER TO ARCHITECTURAL PLANS FOR EXACT EQUIPMENT LOCATION, LAYOUT AND CONFIGURATION.
26. REFER TO ARCHITECTURAL PLANS FOR THE LOCATION OF POWER AND TELCO POINT OF CONNECTIONS, THE DISTANCE OF THE RUN, AND THE SUGGESTED CONDUIT ROUTING. FIELD VERIFY EXISTING CONDITIONS SPECIFICALLY FOR CONDUIT ROUTING PRIOR TO BID.
27. NUMBER OF ANTENNAS REPRESENTED IN THIS DETAIL ARE FOR SHOWING CLARITY OF GROUND SYSTEM REQUIREMENTS ONLY. SEE RF INFO FOR ANTENNA QUANTITY.
28. CONTRACTOR TO 'NOALOX' ALL CONNECTIONS TO GROUND BARS.
29. ALL GROUND WIRES ENTERING GROUND SHALL HAVE PVC SLEEVE.

**TYPICAL ANTENNA SECTOR**



**LEGEND**

- GROUNDING WIRE
- EXOTHERMIC CONNECTION (CADWELD)
- MECHANICAL CONNECTION/DOUBLE HOLE LUG TYPE CONNECTION
- ⚡ BOND TO TOWER



**GROUNDING RISER**

SCALE: NONE

1



PLANS PREPARED BY:

**W-T**

**W-T COMMUNICATION DESIGN GROUP, LLC.**  
WIRELESS INFRASTRUCTURE

2875 Prater Avenue  
Hoffman Estates, Illinois 60102  
PH: (224) 233-8533 FAX: (224) 233-8444  
www.wtgroup.com

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SEAL:

JEFFREY GUTOWSKY  
PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
LICENSE # 062-047235  
EXPIRES: 11/30/2017 SIGNED: 08/01/16

DATE:	DESCRIPTION:	BY:	REV:
08/05/15	LEASE EXHIBIT	JTB	A
08/10/15	PER CLIENTS COMMENTS	DAY	B
08/27/15	REVISION	JS	C
09/02/15	REVISION	JS	D
12/09/15	REVISION	RSM	E
03/15/16	REVISION	SC	F
04/07/16	REVISION	NN	G
06/13/16	REVISION	KLS	H
06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	O

SITE INFORMATION:

**CH92341A**

**SISTERS OF ST. JOSEPH**

1515 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

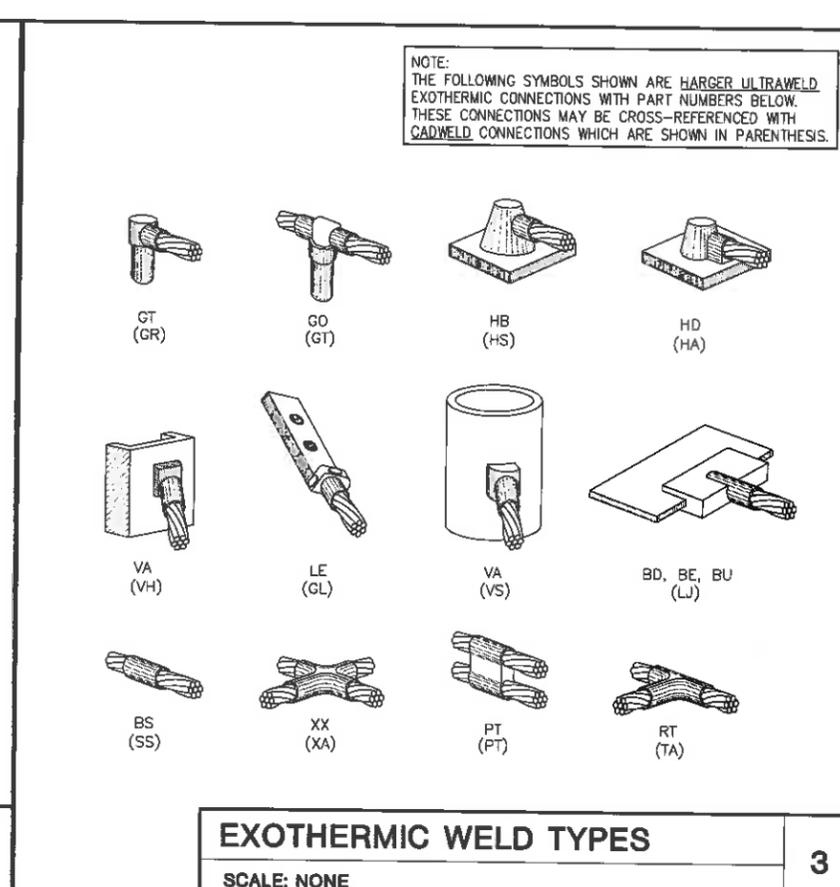
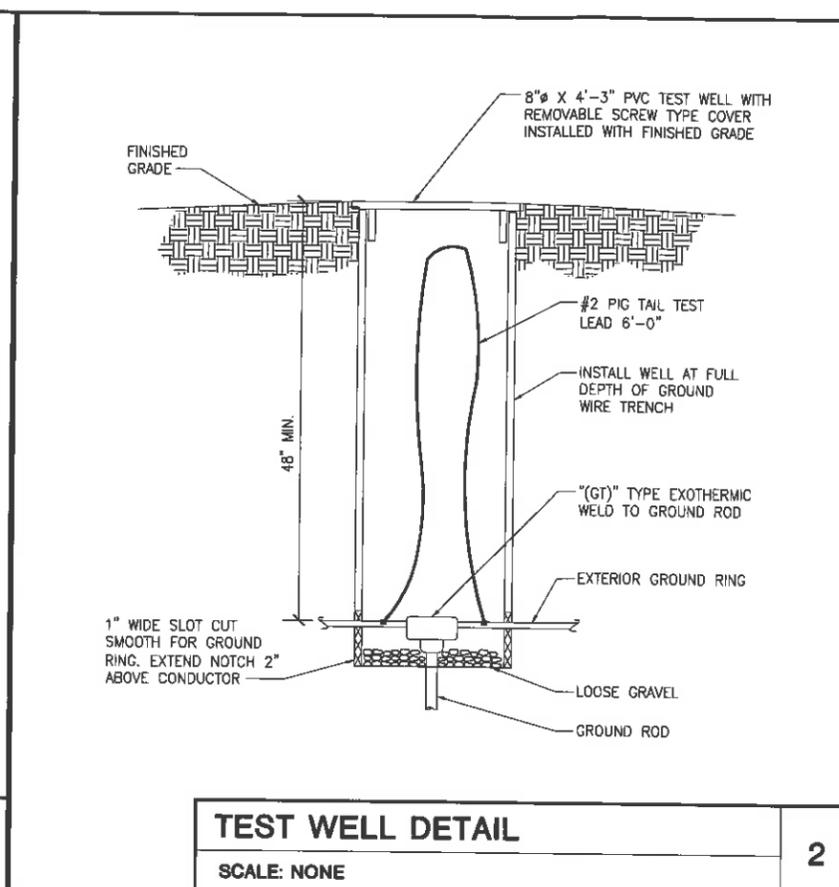
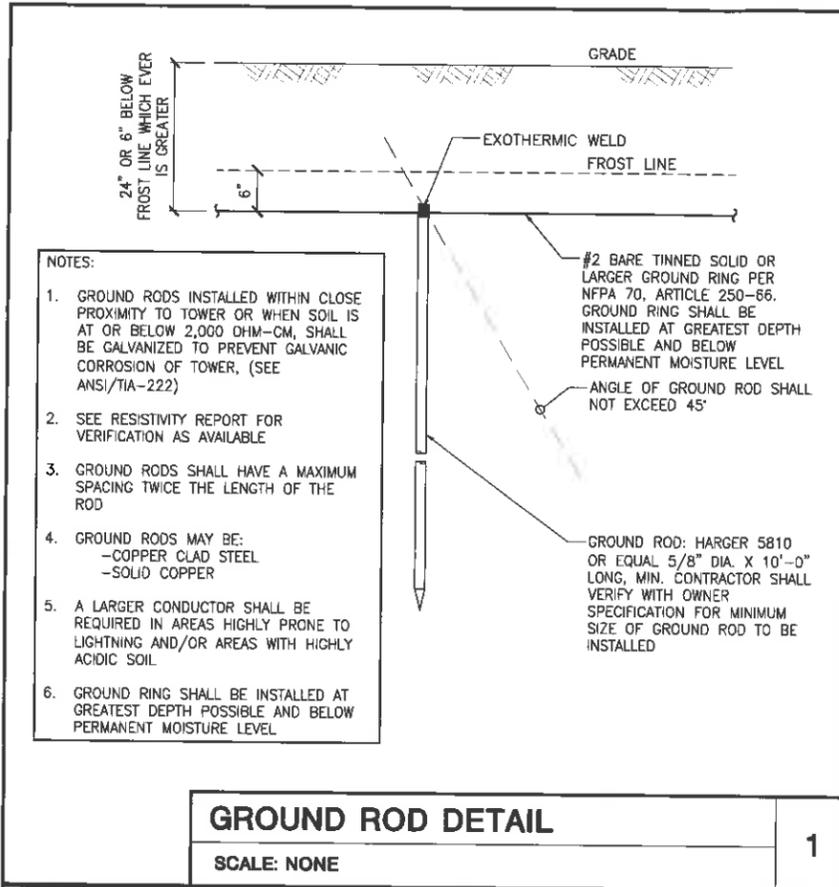
SHEET TITLE:

**GROUNDING DETAILS**

SHEET NUMBER:

**GR-3**

PLOT SCALE: 1:1 @ 11"x17"



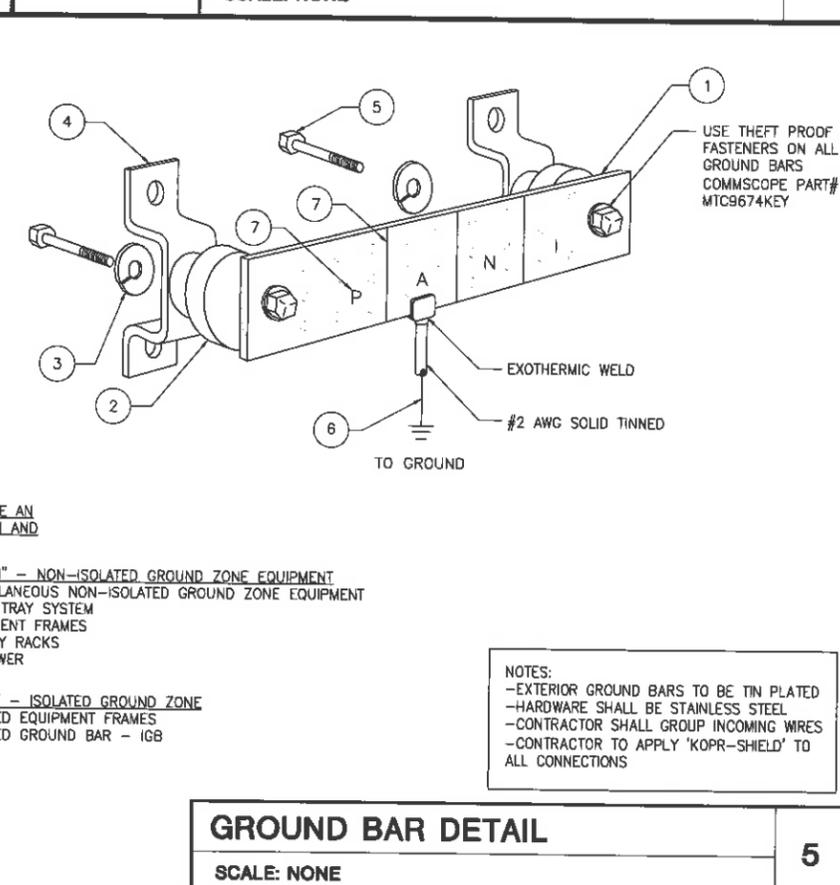
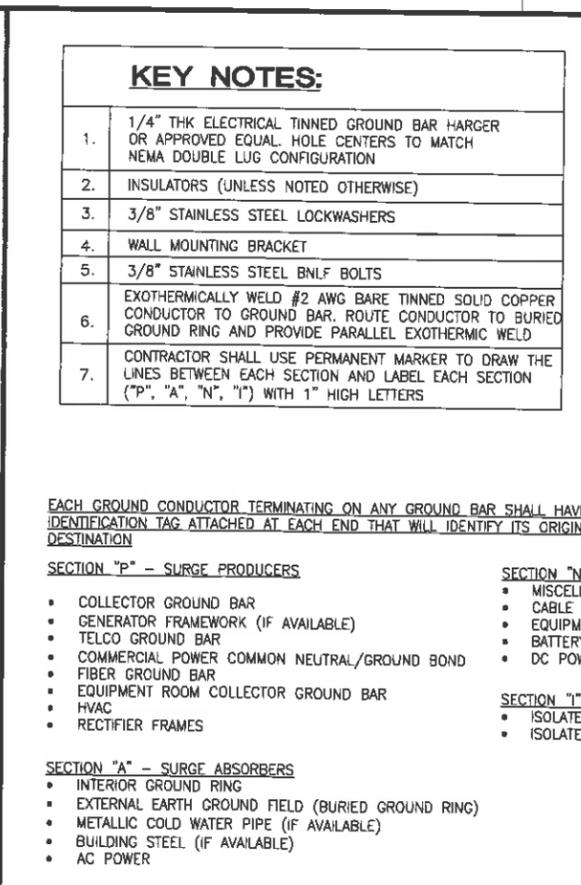
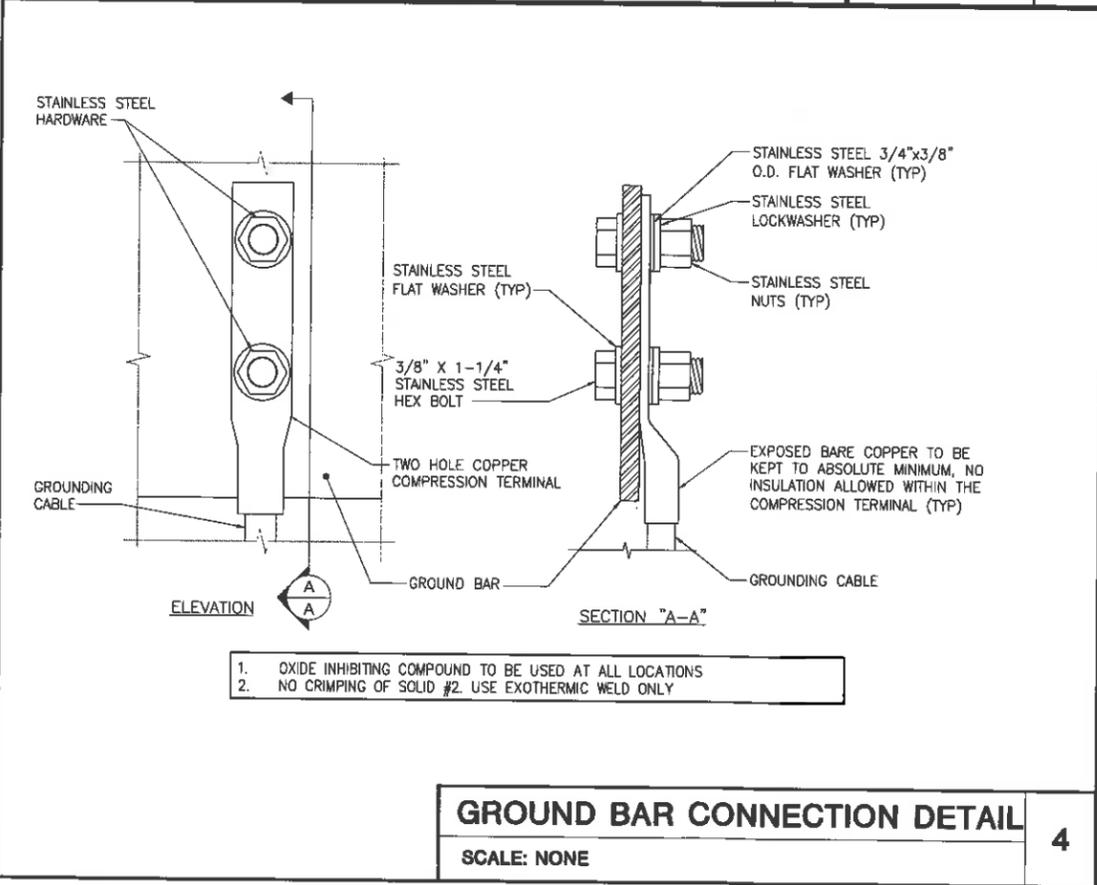
NOTE: THE FOLLOWING SYMBOLS SHOWN ARE HARGER ULTRAWELD EXOTHERMIC CONNECTIONS WITH PART NUMBERS BELOW. THESE CONNECTIONS MAY BE CROSS-REFERENCED WITH QADWELD CONNECTIONS WHICH ARE SHOWN IN PARENTHESIS.

**T-Mobile**  
stick together<sup>®</sup>  
8550 BRYN MAWR AVENUE, SUITE 100  
CHICAGO, ILLINOIS 60631

PLANS PREPARED BY:  
**W-T**  
**W-T COMMUNICATION DESIGN GROUP, LLC.**  
WIRELESS INFRASTRUCTURE  
2875 Pratum Avenue  
Hoffman Estates, Illinois 60132  
PH: (224) 283-6333 FAX: (224) 283-6444  
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SEAL:  
002-047235  
REGISTERED  
PROFESSIONAL  
ENGINEER  
OF  
ILLINOIS  
JEFFERY COUTOWSKY  
PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
LICENSE # 062-047235  
EXPIRES: 11/30/2017 SIGNED: 08/01/16

DATE	DESCRIPTION	BY	REV
08/05/15	LEASE EXHIBIT	JTB	A
08/10/15	PER CLIENTS COMMENTS	DAY	B
08/27/15	REVISION	JS	C
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12/09/15	REVISION	RSM	E
03/15/16	REVISION	SC	F
04/07/16	REVISION	NN	G
06/13/16	REVISION	KLS	H
06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	O



SITE INFORMATION:  
**CH92341A**  
**SISTERS OF ST. JOSEPH**  
1515 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

SHEET TITLE:  
**GROUNDING DETAILS**

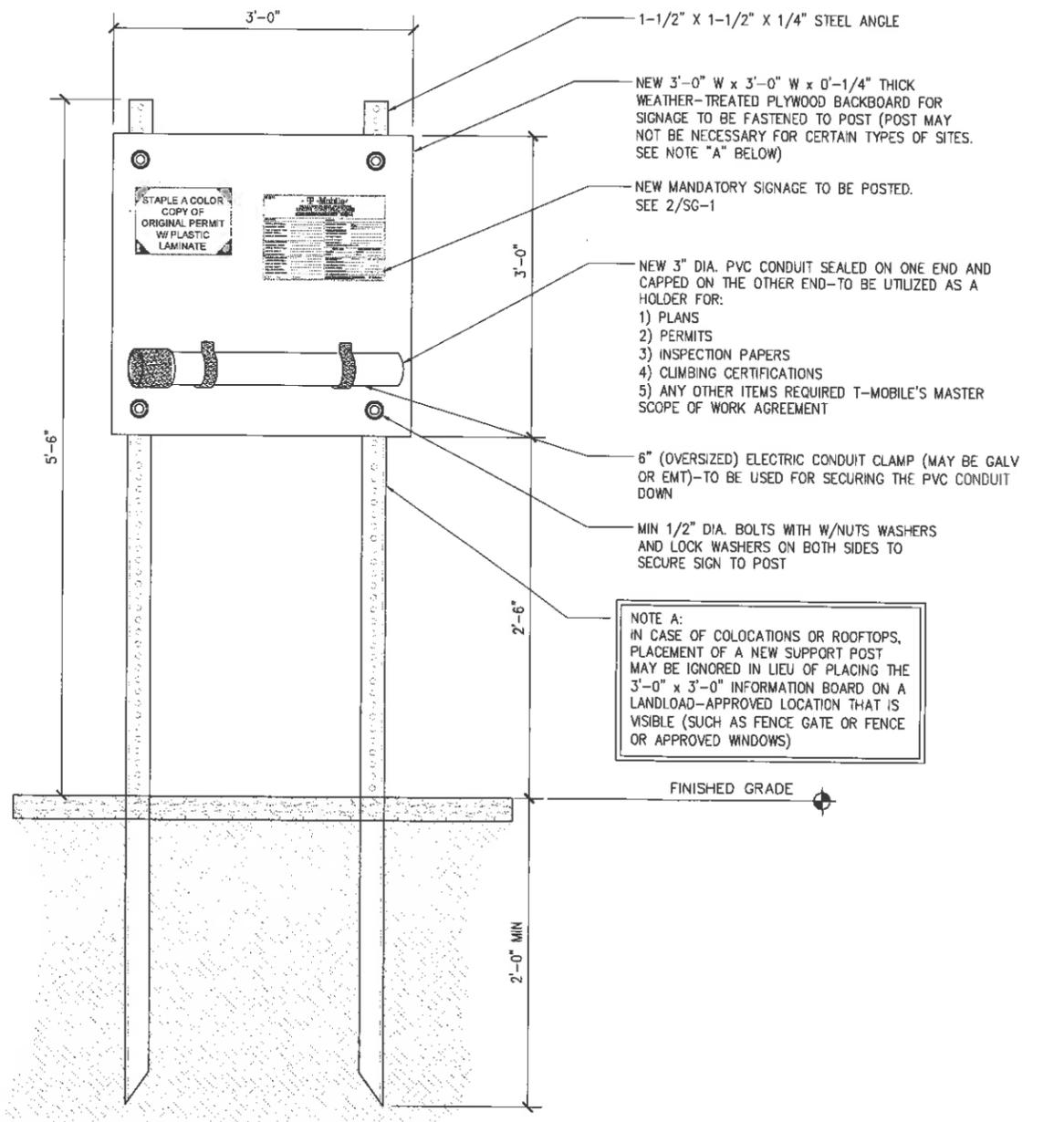
SHEET NUMBER:  
**GR-4**  
PLOT SCALE: 1:1 @ 11"x17"

**ATTENTION GC**  
THIS IS A TEMPORARY INSTALLATION THAT MAY REQUIRE USE OF A HOLE AUGER-AT NO CIRCUMSTANCE WHATSOEVER WILL THE GC BE ALLOWED TO POUR/PLACE CONCRETE AROUND THIS POST-THIS IS A TEMPORARY INSTALLATION AND WILL REMOVED AT THE END OF THE PROJECT LIFE AT THE CONCLUSION OF THE WALK

**ATTENTION GC**  
1) APPROVE LOCATION OF SIGN WITH T-MOBILE PROJECT MANGER AND LANDLORD REP. SIGN SHALL NOT POSE A TRIPPING HAZARD. GC SHALL BE RESPONSIBLE FOR PLACEMENT AND MAINTENANCE OF THE SIGN BOARD UNTIL THE CONCLUSION OF THE SITE WALK  
2) MATERIAL SAFETY DATA SHEETS FOR ALL MATERIALS THAT ARE FURNISHED BY GC SHALL BE PLACED ON SITE

OSHA CFR 1910 SPECIFIES THAT IF YOU HAVE EMPLOYEES OR CONTRACTORS WHO CLIMB HIGHER THAN SIX FEET THEY MUST BE TRAINED AND CERTIFIED IN FALL PROTECTION. IF THEY ARE NOT CERTIFIED, THEY MUST BE UNDER DIRECT ON-SITE SUPERVISION OF A CERTIFIED INDIVIDUAL, AND CLIMB 100% ATTACHED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSULT WITH ALL APPLICABLE OSHA RULES AND GUIDELINES PRIOR TO CONSTRUCTION START

**UTILITY NOTES:**  
1) CONTRACTOR TO VERIFY LOCAL UTILITY REQUIREMENTS FOR DEPTH SIZE & SEPARATION OF CONDUITS PRIOR TO INSTALLATION. NOTIFY CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES.  
2) CONTRACTOR TO CALL UTILITY LOCATES 48 HRS PRIOR TO EXCAVATING FOR UNDERGROUND UTILITY LOCATIONS. LOCATION SURROUNDING EXCAVATED AREA MUST BE PRIVATELY LOCATED FOR NON-PUBLIC UTILITIES.



**ELEVATION**  
SCALE: NONE 1

**T-Mobile** U.S.A.  
**THIS IS A T-MOBILE USA FACILITY THAT IS CURRENTLY UNDER CONSTRUCTION!!!**

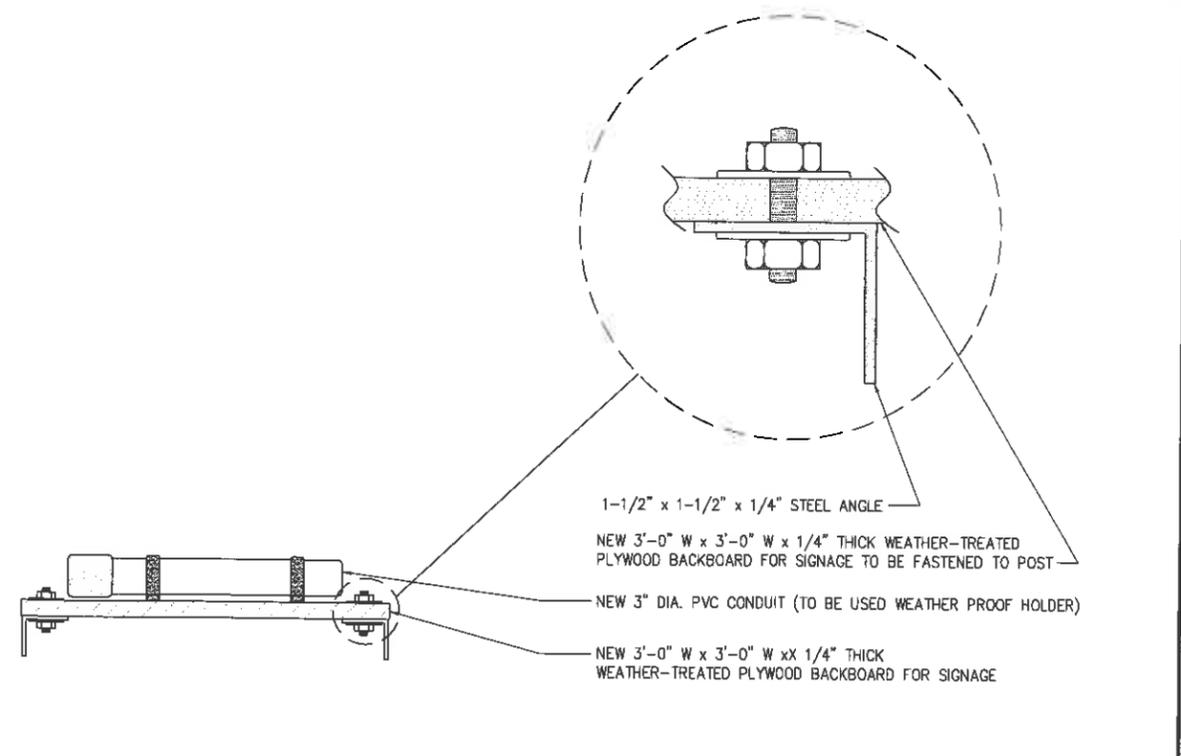
THE FOLLOWING INFORMATION IS SHALL BE PORTED BY THE GENERAL CONTRACTING FIRM THAT HAS BEEN AWARDED THE CONSTRUCTION FOR THIS SITE FAILURE TO POST THIS INFORMATION CONSTITUTES A VIOLATION OF THE MASTER SCOPE OF WORK AGREEMENT BETWEEN THE CONTRACTOR & T-MOBILE

<b>SITE NUMBER:</b>		<b>SITE NAME:</b>	
<b>GENERAL CONTRACTOR:</b>		<b>EMERGENCY CONTACTS:</b>	
CONTRACTOR LICENSE#		FIRE	
POINT OF CONTACT NAME		POLICE/FIRE PHONE#	
CONTACT PHONE #		T-MOBILE CONSTRUCTION	
NAMES OF ON-SITE STAFF		CONSTRUCTION MANAGER	
		CONTACT PHONE #	
		PROJECT MANAGER	
		CONTACT PHONE #	
		T-MOBILE NETWORK OPERATIONS (1-800- )	
<b>ELECTRICAL CONTRACTOR:</b>		<b>LOCAL TELCO</b>	
CONTRACTOR LICENSE#		ENGINEER	
POINT OF CONTACT NAME		PHONE #	
CONTACT PHONE #		<b>LOCAL ELECTRIC COMPANY</b>	
CREW LEADER PHONE #		ENGINEER	
		PHONE #	
<b>ANTENNA &amp; LINE CREW CO:</b>		<b>ON-SITE CHECKLIST</b>	
CLIMBING CERTIFICATION#		AVAILABLE	YES NO N/A DATE
POINT OF CONTACT NAME		PERMITTED DRAWINGS	
CONTACT PHONE #		CONSTRUCTION PERMIT	
CREW LEADER PHONE #		ELECTRICAL PERMIT	
NAMES OF ON-SITE STAFF		CLIMBING CERTIFICATIONS	
		CITY INSPECTION STICKERS	

IMPORTANT: GENERAL CONTRACTOR SHALL POST THIS MANDATORY SIGN ON THE SITE INFORMATION BOARD ALONG WITH THE MATERIALS FROM THE ABOVE LISTED CHECKLIST IN A VISIBLE AREA ON SITE.

Get more from life... T-Mobile

**ON-SITE MANDATORY INFORMATION** 2  
SCALE: NONE



**PLAN VIEW** 3  
SCALE: NONE

**T-Mobile**  
stick together  
8550 BRYN MAWR AVENUE, SUITE 100  
CHICAGO, ILLINOIS 60631

PLANS PREPARED BY:  
**WT**  
**W-T COMMUNICATION DESIGN GROUP, LLC.**  
WIRELESS INFRASTRUCTURE  
2875 Plarum Avenue  
Hoffman Estates, Illinois 60192  
Ph: (224) 283-4333 Fax: (224) 283-8444  
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SEAL:  
JEFFERY GUTOWSKY  
REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS  
LICENSE # 062-047235  
EXPIRES: 11/30/2017 SIGNED: 08/01/16

DATE	DESCRIPTION	BY	REV.
08/05/15	LEASE EXHIBIT	JTB	A
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03/15/16	REVISION	SC	F
04/07/16	REVISION	NN	G
06/13/16	REVISION	KLS	H
06/17/16	REVISION	RSM	I
08/01/16	FINALS	RSM	D

SITE INFORMATION:  
**CH92341A**  
**SISTERS OF ST. JOSEPH**  
1515 OGDEN AVENUE  
LA GRANGE PARK, IL 60526  
W-T JOB NUMBER: T1505246

SHEET TITLE:  
**OSHA SIGNAGE**

SHEET NUMBER:  
**SG-1**

PLOT SCALE: 1:1 @ 11"x17"





















BEFORE THE VILLAGE OF LAGRANGE PARK  
ZONING BOARD OF APPEALS

IN RE THE MATTER OF: )  
 ) Petition  
Application for a Special Use ) #2016-05  
Permit and Variation for the )  
Property Located at 1515 West )  
Ogden Avenue )

ZONING BOARD OF APPEALS PUBLIC HEARING  
August 16, 2016  
8:45 o'clock P.M.

PROCEEDINGS HAD and testimony taken before  
the VILLAGE OF LA GRANGE PARK ZONING BOARD OF  
APPEALS, taken at the LaGrange Park Village Hall,  
447 North Catherine, LaGrange Park, Illinois,  
before Marlane K. Marshall, C.S.R., License  
#084-001134, a Notary Public qualified and  
commissioned for the State of Illinois.

1 BOARD MEMBERS PRESENT:

- 2 MR. ERIC BOYD, Chairman  
3 MS. CAROLINE DOMAGALSKI, Member  
4 MR. JIM LEE, Member  
5 MR. WILLIAM LAMPERT, Member  
6 MR. CHRISTOPHER STUDWELL, Member  
7 MR. ROBERT BARTHOLOMI, Member  
8  
9

ALSO PRESENT:

- 10  
11 MS. JULIA A. CEDILLO, Village Manager  
12  
13 MS. EMILY RODMAN, Assistant Village  
14 Manager  
15 MS. AMANDA G. SEIDEL, Village Clerk  
16 MS. CATHLEEN M. KEATING, Village  
17 Attorney  
18  
19 CHIEF DEAN J. MAGGOS, Director of Fire,  
20 Building and Emergency Management  
21 MR. PAUL E. FLOOD, Hancock Engineering  
22  
23  
24

1 PRESENT FOR THE PETITIONER:

2 DEL GALDO LAW GROUP, LLC, by  
3 MR. JAMES M. VASSELLI  
4 1441 South Harlem Avenue  
5 Berwyn, Illinois 60402

6 SR. PAT BERGEN

7 MR. ADAM KAUFFMAN, NTP Wireless

8 MR. EDWARD SUTORIS, Sisters of  
9 St. Joseph Staff

10 MR. ROBERT STAPLETON, National Wireless

11  
12  
13  
14  
15  
16  
17  
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19  
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22  
23  
24

1 CHAIRMAN BOYD: We have a second public hearing  
2 tonight. And I will convene it now. The same rules  
3 apply I will describe in a second. But the first  
4 thing I do is to read the public notice into the  
5 record.

6 "Notice is hereby given  
7 that on August 16th, 2016 a  
8 public hearing will be held  
9 before the Zoning Board of  
10 Appeals of LaGrange Park,  
11 Illinois in the village hall  
12 at 447 North Catherine Avenue  
13 at 7:00 p.m. or soon thereafter  
14 for the purpose of considering  
15 an application for a special  
16 use permit for a telecommunica-  
17 tions tower and an application  
18 for a variation on property  
19 zoned as I Institutional  
20 District located at 1515 West  
21 Ogden Avenue, LaGrange Park,  
22 Illinois which includes the  
23 following parcels."

24 And I will skip the parcel numbers.

1 "Petitioner is requesting a  
2 special use permit to construct  
3 a new monopole telecommunications  
4 tower and a variation to allow  
5 the tower to be 125 feet in  
6 height. The proposed tower  
7 would support the operations of  
8 up to three wireless communi-  
9 cation carriers.

10 The application for a  
11 special use permit and appli-  
12 cation for a variation and  
13 description of proposed use  
14 are available for examination  
15 during normal office hours at the  
16 LaGrange Park Village Hall, 447  
17 North Catherine Avenue, LaGrange  
18 Park, Illinois.

19 All interested persons are  
20 invited and welcome to attend  
21 the hearing. All persons  
22 interested in providing testimony  
23 at the hearing are welcome to do  
24 so."

1           So the first thing I do is as I did before  
2 was ask everyone who plans to provide testimony in  
3 this public hearing to stand and be sworn in.

4                       (Whereupon the witnesses were duly  
5                       sworn by the Notary.)

6           CHAIRMAN BOYD: And now as we said before time  
7 for the petitioner's case. And after that we'll  
8 have questions from the audience and questions from  
9 the Board of Appeals. So who starts?

10

11                       S R.   P A T   B E R G E N,  
12 having been first duly sworn, testified as follows:

13                       So I am Sr. Pat Bergen. And I have lived  
14 here -- Actually I was raised on Catherine Avenue  
15 down the street since I was six-year-old. My sibling  
16 and my cousin also raised their children here. But  
17 one of the things that we found out about LaGrange  
18 and LaGrange Park at a very early age was families  
19 here care about one another. They take responsibility  
20 for one another's children. There is a family  
21 attitude around here. And that's why my sibling and  
22 my cousin moved in to the area to raise their  
23 children. Not only was transportation excellent  
24 here to get all around the country, but communication

1 also was excellent from the time I was a little  
2 child. Illinois Bell was down on Ashland Avenue and  
3 we had some of the best communication in LaGrange  
4 and LaGrange Park of any suburbs in the area. And  
5 so I think that's part of the context of what I would  
6 like to present in asking for this special use and  
7 variance request. So if somebody could -- Maybe I  
8 am the one who is going to change this. Or maybe  
9 not. Thank you very much.

10           We said that the six-story building will  
11 be deconstructed. And you will notice at the top of  
12 the elevator shaft we have cell towers -- cell  
13 antennas. And if the building comes down we have to  
14 do something to continue supplying the excellent  
15 communication that we have in this area by way of  
16 putting up a monopole. And we're asking to put up a  
17 monopole at the farthest distance from neighbors and  
18 Ogden Avenue that we can select on our property.  
19 And so those present antennae are AT&T, T-Mobile and  
20 we hold the 9-1-1 signal for the Village of LaGrange  
21 Park.

22           And so I would like to invite Ed Sutoris  
23 to present the facts on the cell tower.  
24

1           E D W A R D   S U T O R I S,  
2 having been first duly sworn, testified as follows:

3           Thank you. My name is Ed Sutoris,  
4 S-u-t-o-r-i-s. I am staff for and work for the  
5 Sisters of St. Joseph.

6           Our proposed special use permit variance  
7 has a number of components. As Sr. Pat mentioned  
8 AT&T and T-Mobile and the Village of LaGrange Park  
9 have equipment on the roof of the six-story building.  
10 As was previously stated the six-story building is  
11 going to be deconstructed and be replaced by a two-  
12 story facility for the sisters. The new building  
13 does not have the necessary vertical height to  
14 support the coverage needs for AT&T, T-Mobile or the  
15 village's public safety equipment.

16           The proposed tower is not part of the  
17 current PUD -- we'll show pictures here in just a  
18 minute -- so a special use permit and variance is  
19 required for the 120-foot tower with a five-foot  
20 lightning rod on top of it.

21           The current plan is T-Mobile's equipment  
22 will be at 120 feet, AT&T's equipment will be at 110  
23 feet, there will be space available at 100 feet for  
24 a future co-locator that's per the village code, and

1 the village 9-1-1 equipment can also additionally be  
2 accommodated on the tower.

3           As Sr. Pat mentioned, the location of the  
4 cell tower was chosen for its distance from existing  
5 homes and the public right-of-way and still being on  
6 the sister's property. Per the village code there  
7 will be a fenced enclosure around the tower and  
8 we'll have landscaping installed to surround the site.  
9 Both carriers -- Both AT&T and T-Mobile have  
10 prepared a report confirming -- pardon me -- yes,  
11 have prepared a report confirming that the site is  
12 in compliance with all state, local and federal  
13 standards, and a copy of their application packet as  
14 well as supplemental materials about the carriers is  
15 available for public view.

16           So you are going to see a series of these.  
17 These are coverage maps that were generated both by  
18 T-Mobile and AT&T showing what the coverage is. And  
19 they use a dark green. So to orient us this is the  
20 current site here, here's Wolf Road, LaGrange Road,  
21 55th and 31st. So for T-Mobile green is good. So  
22 you can see what their coverage is currently with  
23 the existing building. Now we are going to run  
24 through a few slides to see what happens without the

1 site and then with the new tower. If you could go  
2 back one more?

3 So you can see without the site there is a  
4 significant gap in coverage here for T-Mobile, and  
5 then with the new site you can see back a little bit  
6 further that there is substantial coverage here from  
7 T-Mobile.

8 AT&T did the same proposed coverage map.  
9 They use different colors. I don't know why. This  
10 is the existing site here. Obviously red is like a  
11 heat map. Red is the strongest coverage and then  
12 going away white and blue is the worst. So you can  
13 see what the coverage is now. Without the site you  
14 can see there is a pretty big gap here again just  
15 like with T-Mobile, and then with the new proposed  
16 site you can see that there is significant coverage  
17 in the area here in LaGrange. So that gives you a  
18 sense of what the coverage is.

19 We also tried to prepare some photo  
20 simulations because a picture is worth a thousand  
21 words of what this might look like. So first of all  
22 where is the tower located? This is an aerial. It's  
23 this X back here. That's where our current plan is.  
24 That's the absolute back of the sister's property

1 without getting into the floodplain.

2           Then we tried to prepare, as I just  
3 mentioned, some photo simulations showing what the  
4 site would look like from a number of different  
5 spots both before and after. It's a little bit of  
6 a Where's Waldo, but you can -- So this is facing  
7 south. This is at the furthest part back in the  
8 property. The softball field is to the right, Salt  
9 Creek is behind us and the motherhouse is over here.  
10 So you can see the motherhouse is gone and the cell  
11 tower is here. Photo simulations are meant to be  
12 set to scale, so you can sort of see the relative  
13 size of everything in relation to the trees and the  
14 other buildings.

15           So here this is across from Ogden Avenue  
16 right across from Nazareth Academy. You can see the  
17 motherhouse here. And I direct you to look around  
18 here with the next slide. So the motherhouse is  
19 gone and that's where the pole is.

20           This is from your back -- at about the 50  
21 yard line with your back to Edgewood looking out.  
22 The motherhouse is here. And I would again ask you  
23 to look over here. That's hopefully what it would  
24 look like.

1           And then finally facing southwest. So  
2 this is in right field in the baseball field looking  
3 across. The motherhouse is here and to give you a  
4 sense of what that would look like.

5           Finally the village has their 9-1-1  
6 antennas. They have been on the motherhouse for  
7 years and the sisters have been doing that as a  
8 courtesy to the village. And in addition to that  
9 we've created space on the new tower for the 9-1-1  
10 antennas pending village decision on this. That's  
11 all I have.

12  
13           J A M E S   V A S S E L L I,  
14 having been first duly sworn, testified as follows:

15           Mr. Chairman, James Vassell, V-a-s-s-e-l-l-i,  
16 lawyer for the project. And I have been sworn.

17           Mr. Chairman, if I may approach I do have  
18 what I would like to mark as Exhibit A which is the  
19 actual invitation that the congregation, the appli-  
20 cants in this case, sent to all the neighboring --  
21 I shouldn't say sent -- personally hand delivered to  
22 all of the neighboring people in this applicant's  
23 area inviting them to a public hearing at the  
24 congregation house on August the 2nd from 7:00 p.m.

1 to 8:15 p.m. They invited questions and they wanted  
2 to involve the community. I think Sr. Pat said it  
3 best. This is important for the community. And  
4 it's a matter of concern for the community insofar  
5 as we wanted to inform them of what was going on.  
6 So I would like the record to reflect we have made  
7 all statutory and code-compliant notices, but we  
8 went above and beyond. We went above and beyond and  
9 we had people literally walking up and down the  
10 streets in the area to hand them those postcards to  
11 invite them in and talk about this area.

12 (Whereupon, a document was marked as  
13 Exhibit A for identification.)

14 MR. VASSELLI: What we have tonight on this  
15 application, ladies and gentlemen of the board, is  
16 not a PUD amendment but rather a special use permit  
17 request and a request for a variance. As the board  
18 knows a special use permit is an enumerated use in a  
19 village zoning code that triggers review and conditions  
20 by the village for approval. There are certain  
21 factors in this and they are set forth in your  
22 zoning code.

23 The first factor is it doesn't endanger  
24 the public health and safety of the community. And

1 that's before you again today. I would like to point  
2 out that this is compliant with all FCC standards.  
3 There is a health and safety compliance report that  
4 is included in your packets as Exhibit F. This will  
5 increase 9-1-1 service. We have, as I have stated,  
6 always been accommodating to the village for 9-1-1  
7 communication and will continue to do that for as  
8 long as we're here. And this does serve as an  
9 economic benefit to the community for increased cell  
10 tower service. I think it's very safe to say that  
11 people are moving away from land lines and toward  
12 cell phones. Everybody in this room has a cell  
13 phone. As you saw from the depictions before, with  
14 less of a cell coverage area there are less cell  
15 phone usages viable for people in the area including  
16 people looking to make emergency -- or to make calls  
17 for the community.

18           Is this compatible with adjacent property.  
19 Well, we did see the pictures, and the pictures  
20 showed that there are existing light poles in the  
21 area. There are existing light poles in the area  
22 from Nazareth Academy and there are poles in the  
23 area, trees in the area on the PUD which is immediately  
24 to the west of the applicant's site or the proposed

1 location for the applicant. And again this is not  
2 immediately visible to the north and northwest  
3 residents. So on this factor it does work. It is  
4 compatible with adjacent properties.

5           Your zoning code is set forth in the  
6 affirmative and positive staff recommendation sets  
7 forth the spirit and intent of the code that does  
8 this comply with the village's specific wireless  
9 power standards. I believe it does. And I believe  
10 that -- and I am positive that your staff report  
11 does say that the five factors that are called out  
12 in your zoning code are complied with through our  
13 application of what we're seeking. That's on page 3  
14 of the staff report.

15           It complies with the village's standard  
16 for wireless tower service. It prevents a loss of  
17 service. There are not other suitable structures in  
18 the area for colocation service. It is located in  
19 the Institutional District. It is adjacent to a PUD  
20 which the property where this is being sited is in  
21 the Institutional District. And there is a detailed  
22 landscaping plan for this site and for this project,  
23 and it is code compliant. Ladies and gentlemen of  
24 the board, that takes us through the special use

1 permit.

2           The other aspect of this is a variation.  
3 And a variation as the board probably knows is a  
4 special land use relief for a specific parcel based  
5 on its unique characteristics or the unique  
6 characteristics of the application pending before  
7 this board.

8           Does this create an undue hardship. And  
9 essentially what we're asking for in the variation  
10 here is the height, the height reaching to 125 feet  
11 the top five feet, of course, being for a lightning  
12 pole or lightning rod. Is this an undue hardship?  
13 We believe it is, that if we are not granted the  
14 variance for the additional height there are not  
15 colocation opportunities provided. Your village  
16 code looks for and seeks out location opportunities  
17 for wireless providers -- for wireless cell towers.  
18 And without this additional height that is minimized  
19 if not eliminated.

20           Is it a negative impact on the coverage  
21 area? It is. It is a negative impact on the coverage  
22 area, and that is evidenced by the site plans and  
23 the plotting that Ed talked to you about less than  
24 five minutes ago.

1           Is this unique in circumstances. It is a  
2 unique issue in so much that if this applicant was  
3 not decreasing the height of their building then  
4 this would not come to the fore. We would not need  
5 to zone for this on this location but for the  
6 decrease of the height of the building on the  
7 applicant's parcel which is the application we heard  
8 earlier tonight.

9           And the variation standards -- the third  
10 variation standard is does this match the essential  
11 character of the locality. Well, I am confident  
12 that it does. There has been at least ten years of  
13 telecommunication equipment use on this location in  
14 this area. On the PUD that was evidenced -- If you  
15 look at the top of the building at the motherhouse  
16 for the applicant you will see communication  
17 equipment that is reminiscent of a bygone era.  
18 There's multiple poles and boxes and it's arcane  
19 quite simply. And what is being proposed tonight is  
20 a much more modern and elegant solution to a cellular  
21 problem.

22           We need coverage and we need towers. And  
23 what we're moving towards in the community are moving  
24 towards in the commercial aspect of this are the

1 monopoles, not something that for lack of a better  
2 word looks like sputnik landed on top of the  
3 building. There are existing lights poles in the  
4 area. We have talked about it and seen the pictures  
5 of it. There are existing light poles in the area  
6 on the Nazareth parcel, there's existing tall trees  
7 in the area on the property in the PUD immediately  
8 to the west. And so we believe that it matches all  
9 three characteristics of a variation.

10 With that, Sr. Pat?

11 SR. BERGEN: So I want to personally thank the  
12 staff. Emily, you have gone way beyond in preparing  
13 those packets for all of you and for coaching us  
14 through these two and a half years. And I want to  
15 thank the Zoning Board. It is apparent to me that  
16 both the Zoning Board and the staff really cares  
17 about the neighbors in LaGrange and LaGrange Park.  
18 You care about the citizens. And I am really proud  
19 to belong to such a village that really looks into  
20 everything as you do in great detail on behalf of  
21 what's best for the whole. So thank you very much,  
22 very, very much. And thank you very much once again  
23 for preparing the memo and the recommendation to the  
24 board. Staff, thank you very much. I am glad to be

1 a citizen of LaGrange Park. So thank you for what  
2 you do for all of us. And, of course, I am hoping  
3 that you pass this.

4 CHAIRMAN BOYD: Does the applicant have anything  
5 else to say?

6 MR. VASSELLI: At this point in time we do not,  
7 but we do reserve the right to have additional  
8 people. We do have representatives from both  
9 providers here tonight, and I believe that there is  
10 a staff report with a positive recommendation that  
11 has been distributed to the Zoning Board of Appeals.  
12 With that I reserve the right to add to this  
13 petition, Mr. Chairman, but we will rest.

14 CHAIRMAN BOYD: Okay. Thank you. May I ask  
15 do we have members of the audience who would like to  
16 present testimony? If so would you raise your hand  
17 so I get a count? Okay. I don't care who goes first.  
18 Mike, you're closest. I assume the three of you who  
19 raised your hands were each sworn in in the  
20 beginning.

21  
22 M I C H A E L D O L I N S K I,  
23 having been first duly sworn, testified as follows:

24 Mike Dolinski. A couple questions I hope

1 I can get answered in the time I have.

2 The current elevation of the equipment on  
3 the existing building, do we know what that is?

4 SR. BERGEN: The building is 80 feet high and  
5 it's on the elevator shaft.

6 MR. DOLINSKI: So at this point the equipment  
7 seems to work fine at that location and the height  
8 it's at. The village code outlines a pole of no  
9 more than 100 feet. That's my understanding. Is  
10 that correct?

11  
12 E M I L Y R O D M A N,  
13 having been first duly sworn, testified as follows:

14 Yes.

15 MR. DOLINSKI: So there had to be a lot of  
16 research and thought put into assigning that 100  
17 feet as a standard. I haven't heard anything yet to  
18 say why we should -- why the board should grant a  
19 variation of another 20 or 25 feet for these devices.

20 Does the lease for this equipment depend  
21 on this extra height? That's another question I  
22 have.

23 CHAIRMAN BOYD: We can have a response. I tell  
24 you what we have done in the past. We have the

1 applicant write the questions down. You can respond  
2 later on. Why don't you go ahead and present your  
3 testimony and your questions and we will make sure  
4 they're answered later.

5 MR. DOLINSKI: Will do. So the lease for the  
6 equipment, is it dependent on this extra height. Is  
7 it dependent on getting the variance? If the variance  
8 isn't granted will the contract still be in place is  
9 my question.

10 And is there anyone here on the board who  
11 might have been involved in designing the 100-foot  
12 standard and can tell me why it was chosen to be 100  
13 feet, not shorter or not taller? Maybe that's a  
14 question for the staff.

15 CHAIRMAN BOYD: We'll get to that. Anything  
16 else?

17 MR. DOLINSKI: That's all.

18 CHAIRMAN BOYD: Okay. Thank you. Mr. Edwards,  
19 I think I saw you.

20

21

22

23

24

C H U C K E D W A R D S,  
having been first duly sworn, testified as follows:

Chuck Edwards, 354 Malden.

My concern are surprises in Mission Creek.

1 Once we get this thing set up what else can happen?  
2 I mean could they put -- The reason I am saying this  
3 is because of the prior situation with Nazareth and  
4 the lighting. We fought the lighting and we lost.  
5 But then we didn't know we were going to get this  
6 gym. We knew the gym was there but the gym at the  
7 foot of Richmond has just destroyed millions of  
8 dollars of property value along Edgewood.

9 My concern is, you know, obviously the  
10 sisters are getting rent for this and it's their  
11 property and whatever. But like what Mike said, is  
12 part of the variance -- I don't see a hardship for  
13 the variance. Is part of the variance to enhance  
14 their rent?

15 CHAIRMAN BOYD: Thank you.

16  
17 B E T H E D W A R D S,  
18 having been first duly sworn, testified as follows:

19 Good evening. I am Beth Edwards, 354  
20 Malden. I have lived here since 1983. Chuck didn't  
21 say he was here since 1956 and we have a significant  
22 interest in the neighborhood. We're active at  
23 Sisters of St. Joseph and recognize the nuns well.

24 I want to say we did not receive that hand

1 invitation. We only received a registered mail that  
2 we had to sign for for tonight.

3 CHAIRMAN BOYD: Ms. Edwards, can you keep your  
4 voice up?

5 MS. EDWARDS: We did not receive the invitation  
6 that was hand delivered. We only received the  
7 registered mail from the U.S. postman that we had to  
8 sign for.

9 I am here because I think the 125-foot  
10 monopole is too tall. It is excessive and it's an  
11 eyesore. I am glad that it's a monopole and does  
12 not have guide wires that are dangerous to migratory  
13 birds. But as I understood before the existing  
14 residence with the tower was 75 feet from ground to  
15 the top of the tower. Asking for 125 feet is a  
16 difference of 50 feet with the state law being a  
17 100-foot maximum. There is nothing being stated or  
18 proven to justify a 50-foot increase.

19 I am trying to find out what a 125-foot  
20 tower would look like. It's pretty difficult. I  
21 went on line with the help of the internet trying to  
22 find out where are cell phone towers in our area.  
23 The tower at the -- The antenna at the sisters' is  
24 not listed with the FCC so it is not on the state

1 roster. There is a cell phone tower listed in  
2 LaGrange Park at 26th and Beach, and that turns out  
3 to be merely a radio antenna for Cook County Sheriff's  
4 Department uses. Only a radio antenna. They in  
5 turn sent us a discovery to go to Brookfield on  
6 Burlington Avenue next to Kiwanis Park and in the  
7 parking lot there was a monopole. And there was a  
8 sign on it saying the FCC number, the management  
9 number and different things. I called the 1-800  
10 number, got referred to someone else, left a message  
11 with someone else and then found out that there was  
12 a regional site manager by the name of Mark Heris  
13 (phonetic). I spoke with Mr. Heris yesterday  
14 regarding his SBA-managed monopole in Brookfield. I  
15 asked him specifically what is the height of your  
16 monopole and what are the -- and do you have cell  
17 phone carriers on it. He responded that the height  
18 from the ground to the top of the pole was 109 feet.  
19 So their variance was only for nine additional feet  
20 and that is including the lightning rod. And he  
21 says and they have multiple cell carriers on it.

22 I wanted to say that the profile -- The  
23 photographs aren't really doing justice to the  
24 neighborhood. There is Bemis Woods, the Cook County

1 Forest Preserve Bemis Woods directly behind where  
2 the monopole will be erected. According to all the  
3 rules and regulations this is a great location. It's  
4 accessible, it is not creating new roads, it is off  
5 of a parking lot, they can maintain it, everything.  
6 If you look at the average that every one story  
7 floor is 10 feet, then a 125-foot monopole would be  
8 the equivalent of twelve and a half stories in height.  
9 None of the photographs or schematics shown seem to  
10 indicate that this would be an extreme projection  
11 from the profile of the Cook County Forest Preserve.  
12 And the picture of the sisters' residence is not  
13 showing adequately where the 125-foot pole would be  
14 because it would be raised higher than the present  
15 assisted living which is behind the facility.

16           Again nothing is stated or proven to say  
17 why it needs to go higher than 100 feet except that  
18 the vendor has chosen these amounts, T-Mobile for  
19 125 feet including the lightning rod, AT&T for 110  
20 and the village 9-1-1. Is there any reason that  
21 could be given to justify why since we're already  
22 going higher -- having a stand-alone antenna higher  
23 than 75 feet why we have to jump to the highest 125  
24 feet?

1           And I just want to say by means of analogy  
2 if I was going to buy a car and went into a showroom  
3 I could see a car in a base model with the bare  
4 necessities, I could see it in the middle version  
5 with some extras added on, and I could see it fully  
6 loaded with all the gizmos and tricks and everything  
7 that you could imagine. Now, it seems to me that by  
8 extending the monopole 50 feet without any rhyme or  
9 reason isn't explaining why we have to go for the  
10 limit, shoot for the stars and make the biggest pole  
11 even though it is excessively higher than the  
12 surrounding natural environment that is surrounding  
13 it and has been there for millions of years.

14           By word of explanation Bemis Woods was  
15 formed by a glacier Lake Michigan that scoured the  
16 land away from -- scoured the land and created  
17 saddles in Bemis Woods where there are high points  
18 and low points. This Bemis Woods has been here as a  
19 natural resource that everyone enjoys. And to have  
20 this monopole sticking 50 feet higher than anything  
21 else without justification doesn't seem worthwhile.

22           My research also showed that for the sisters  
23 to erect an existing monopole you cannot have another  
24 pole within a minimum one-mile radius. And there

1 are other poles in the area that our licensees are  
2 getting income off of. And I think it's up to  
3 T-Mobile and AT&T to justify why they need those  
4 excessive heights to get the immediate coverage for  
5 our area. That's it.

6           So again it's the excessive height, the  
7 fact that in Brookfield the SBA Management has the  
8 monopole at 109 feet with cell phone coverage --  
9 multiple cell carriers and it is less invasive. And  
10 the photographs are not indicating correctly how the  
11 50-foot height difference is going to affect the  
12 natural Bemis Woods. Property values perceived was  
13 stated. Thank you.

14           CHAIRMAN BOYD: Thank you. Is there anyone  
15 else who is not the applicant who would like to say  
16 anything? Have you been sworn in, ma'am?

17           AUDIENCE MEMBER: No, I have not.

18                           (Whereupon the witness was duly sworn  
19                           by the Notary.)

20  
21                           R I T A   M c C A B E,  
22 having been first duly sworn, testified as follows:

23                           My name is Rita McCabe.

24           CHAIRMAN BOYD: I'm sorry. One more time.

1 MS. McCABE: My name is Rita McCabe. I live at  
2 1140 Blanchan Avenue which is not in the neighborhood  
3 of the site that we're talking about. However, I do  
4 have concerns about the tower.

5 I am a volunteer at Cook County Forest  
6 Preserve District, and my concern is the effect that  
7 the tower will have on our bird population. It is  
8 being erected in an area that attracts birds, Bemis  
9 Woods. And as many of you probably know our bird  
10 populations have been declining precipitously over  
11 the past few years. Almost every bird species is in  
12 decline. And the erection of these towers is just  
13 another obstacle for these birds. Oftentimes dead  
14 birds are found at the base of these towers and this  
15 concerns me. And the higher it is the more of an  
16 obstacle it is especially during migration. Thank  
17 you.

18 CHAIRMAN BOYD: Thank you. Anyone else? Okay.  
19 Does the applicant have any comments or response to  
20 what they heard?

21

22 A D A M K A U F F M A N,  
23 having been first duly sworn, testified as follows:

24 Adam Kauffman, K-a-u-f-f-m-a-n. I am here

1 representing T-Mobile who has taken the lead on this  
2 project to build the tower.

3 CHAIRMAN BOYD: Mr. Kauffman, keep your voice  
4 up too.

5 MR. KAUFFMAN: Sure. All right. Can everybody  
6 hear me now?

7 CHAIRMAN BOYD: That pun will be allowed.

8 MR. KAUFFMAN: There were a lot of questions  
9 that were asked and I just want to kind of start at  
10 the beginning to make sure that everybody understands  
11 why we're here and then also just talk briefly about  
12 how our network works so everybody here can under-  
13 stand why we're here.

14 We were approached by the sisters as was  
15 AT&T because of the sisters' need to alter their  
16 facility to address the concerns of their aging  
17 population. They wanted to stay here, and one of  
18 the ways that they were to make that work was to  
19 design the site that you saw in the previous  
20 presentation. Unfortunately or fortunately, however  
21 you want to view it, there is no way to accommodate  
22 T-Mobile's and AT&T's equipment on the structure  
23 that is proposed. We still have an agreement with  
24 the sisters that extends beyond the current time,

1 and they asked us to find a location on the property  
2 that would work to solve the coverage capacity needs  
3 of the citizens and constituents of LaGrange Park  
4 and, of course, LaGrange a little bit to the  
5 southwest and a little bit to the southeast as well.

6           So when we proposed something initially to  
7 the Village of LaGrange Park it was actually at a  
8 higher elevation than the one that you are seeing  
9 here today. After extensive discussion internally  
10 between T-Mobile, AT&T and discussions with the  
11 village we actually lowered the height that we're  
12 asking for. What is represented in front of you in  
13 the application package we put together and in the  
14 data that was provided to the village is the minimum  
15 height that T-Mobile can promulgate their antennas  
16 and still maintain the coverage capacity needs for  
17 its customers. I am going to go into some greater  
18 detail to answer the questions that were posed by  
19 the citizens specifically, but I wanted to make sure  
20 that that was something that was heard by everyone.

21           The issue of whether or not the service is  
22 needed in the community is another issue I would like  
23 to make sure gets addressed. As included in the  
24 packet over 80% of 9-1-1 calls are made from cell

1 phones. So that means that the first thing that  
2 people do if there is an emergency, 80% of people  
3 are using their cell phones. The construction of  
4 this site and the placement of equipment at 120 and  
5 110 feet will enhance what's known as E9-1-1 service  
6 which is if you call and make a 9-1-1 call from your  
7 phone and you cannot speak, the enhanced 9-1-1  
8 service will make certain that first responders can  
9 help geolocate you. The better the coverage the  
10 better the capacity of the sites that are built, the  
11 better they are at finding you if you call 9-1-1 and  
12 cannot speak. That fact alone is important, but  
13 there are a couple of other facts that I think will  
14 address some of the questions that were brought up.

15           One of the questions that you spoke to --  
16 I'm sorry, Ms. Edwards -- was that she asked how will  
17 this affect property values was a question that you  
18 asked. One of the things that was included in the  
19 special use application and the variance application  
20 was data that shows that one of the first things that  
21 new home buyers under the age of 35 do when they are  
22 deciding whether or not to buy a home besides choosing  
23 the lovely community for the architecture and the  
24 thoroughness of the review of everything that comes

1 in front of it, the other thing they do is they look  
2 at their phones to determine whether or not they  
3 have sufficient coverage to use it. And while there  
4 are still many people who still use a landline, the  
5 percentage of people using a landline has precipitously  
6 dropped to the point that one in five people who are  
7 under the age of 35 have never had a landline in  
8 their home. So that means that they have moved from  
9 place to place and never installed a landline. So  
10 it is an essential part of how they're going to be  
11 making buying decisions if they decide to become  
12 first-time home buyers. It does not mean just to be  
13 clear that we have to like that. I am just only  
14 speaking to what the facts are based on data that  
15 has been collected on this issue.

16 I want to go through -- I just wanted to  
17 set the stage for this. I want to go through each  
18 one of the questions that were asked or comments.  
19 So I apologize but I am going to start with the  
20 beginning to make sure each one of those questions  
21 or concerns are addressed.

22 A question that came up on a couple of  
23 occasions. Mr. Dolinski, Ms. Edwards and Mr. Edwards,  
24 all three asked the question. Eighty feet approxi-

1 mately is the height of what was said, 75 feet was  
2 the height that somebody else quoted for the building.  
3 That's the height of the antennas. And they made a  
4 parallel that the new tower proposed is 50 feet  
5 higher than that. And that is factually correct if  
6 you are not taking into account that the ground  
7 underneath the building is higher than the ground at  
8 the back of the property. And as you're aware if  
9 you have been at the Cook County Forest Preserve,  
10 the ground at the back of the property is approxi-  
11 mately 637 feet above sea level. As you get even  
12 further back it actually dips into an area that is a  
13 wetland and a floodplain and is lower than that. So  
14 we pushed the location of the tower to the absolute  
15 edge of that wetland without going into it. We  
16 actually did a wetland delineation to figure out how  
17 close we could get to the back of the property even  
18 to keep it as far from the public right-of-way as  
19 possible without going into a wetland which triggers  
20 negative environmental impacts. The area that's to  
21 the front of the property where the current antennas  
22 are located on the roof of the building depending on  
23 where you are measuring it from, if you are measuring  
24 it from the front of the building it's actually

1 almost 25 feet higher, the ground elevation. It may  
2 not seem that way if you are standing there but  
3 that's just factually the difference. So if you  
4 factor in the height of the ground versus where we  
5 are, that's one of the factors that drives the need  
6 for height.

7           The second factor that is hugely important  
8 is the trees that you mentioned as it relates to  
9 Bemis Woods. Those trees are beautiful and it is a  
10 wonderful, natural landmark. From the perspective  
11 of an RF engineer who is designing networks they are  
12 essentially like monsters eating all of the networks.  
13 Trees specifically are designed -- whether that's  
14 their fault or not it's just a fact -- they are  
15 things that disrupt -- They're called clutter to  
16 our engineers. The propagation of signal -- There  
17 is a propagation of signal that is eaten up -- they  
18 eat up the RF. Meaning if you point a cell tower at  
19 a tree if it was below the tree line as you suggested  
20 it would not function. So it is critically important  
21 that it is actually above the trees. And that  
22 affects where it is on the property, it affects the  
23 height of it. Those are the factors that are driving  
24 the higher height.

1           So I have a number of illustrations of  
2 this, but I want to get the back to all the other  
3 questions and then present those illustrations of  
4 what I am talking about.

5           So you asked -- Mr. Dolinski asked is the  
6 lease for the equipment dependent on the extra  
7 height. That was a question that Mr. Dolinski asked.  
8 I will say that our lease is contingent on really  
9 both parties continuing to agree to it after it  
10 expires. But for now there is no language in the  
11 lease that says that they can unilaterally decide  
12 the height of the equipment if that's the question.  
13 That would be the only -- That would be the only  
14 way I could answer that question. There is nothing  
15 that says that the sisters can dictate what the  
16 height of the equipment is if that was the question.

17           MR. DOLINSKI: It wasn't the question. The  
18 question was if the variance isn't granted would you  
19 not be able to install the equipment at 100 feet and  
20 stay within village regulations.

21           MR. KAUFFMAN: Again repeating back to the very  
22 beginning, which is the height that we have applied  
23 for with the village is a minimum height that  
24 T-Mobile can accept and continue to operate at that

1 location. Does that answer the question?

2 MR. DOLINSKI: That's T-Mobile.

3 MR. KAUFFMAN: Yes.

4 CHAIRMAN BOYD: If you have questions -- I don't  
5 want you to go back and forth here -- ask us. We'll  
6 have Mr. Dolinski testify again if he thinks it's  
7 necessary. Thanks.

8 MR. KAUFFMAN: Sorry about that. Thank you.

9 Once this is set up what can happen next.  
10 So the Village of LaGrange Park's code is extremely  
11 restrictive on the issue of what can happen on the  
12 tower. In fact, even to co-locate on the tower it  
13 must go through a zoning site plan review. So I  
14 can't speak to what happened at Nazareth High School.  
15 I can only speak to our specific use. But the  
16 village's code is very restrictive about what can  
17 happen on the site once it is built.

18 Another question from Mr. Edwards was a  
19 question regarding what a 120 -- a 100-foot tower, a  
20 120-foot tower would look like regarding the photo  
21 simulations. To be very clear we actually exceeded  
22 the standards the village has for where we took the  
23 photos for the photo simulations. Those are renderings  
24 done by the architect who is specialized in exactly

1 this which is to render drawings to show an accurate  
2 portrayal of what it would look like. It's actually  
3 the public right-of-way. We went inside the property  
4 and took the photos from those locations to show  
5 every possible angle.

6           There was mention of alternate sites and  
7 where else they could go as a condition of the  
8 special use permit and variance application. And  
9 under Exhibit I of the package we detail every  
10 potential colocation opportunity that is at least a  
11 similar height of this structure. Again there are  
12 no other suitable locations for their equipment  
13 whether it's T-Mobile or AT&T. Both issues were  
14 covered in the application. They cannot locate  
15 equipment elsewhere if this building is taken down.

16           And then the last question. Ms. McCabe  
17 asked a question of the effect on the bird population.  
18 T-Mobile has to go through an extensive National  
19 Environmental Policy Act review that includes the  
20 potential effect on migratory birds. One fact about  
21 the effect of towers on the bird population is that  
22 a monopole is a preferred design versus a guide tower  
23 or a self-support tower. In addition, should a bird  
24 decide to nest in the tower after it is built,

1 T-Mobile and AT&T must both comply with national  
2 environmental policy standards that require them to  
3 not work on the site in the event there is a bird  
4 nesting there. That is in compliance with the FCC  
5 rules on that issue as well. So they will wait  
6 until the bird leaves the nest and then they will  
7 work there during that time. That's all I have.

8 CHAIRMAN BOYD: Thank you. Anyone else from  
9 the audience have anything to ask or to discuss?  
10 Miss Edwards, I am going to give you one minute to  
11 ask questions and reply. We have to keep this moving  
12 along. Go ahead.

13 MS. EDWARDS: Thank you. In rebuttal, the idea  
14 of picking a house and knowing -- having your carrier  
15 available, this just isn't gibing with me. When we  
16 have children go off to college if our home cell  
17 phone carrier is not in that college neighborhood  
18 then you have to change to that carrier. You can't  
19 expect one carrier to do 100% of the United States.  
20 That's not reasonable. So if someone was going to  
21 move into an area and look for cell phone coverage  
22 as a priority, I just think that's a moot issue.

23 I wanted to say also that if the current  
24 sisters' building is 75 feet and with the antenna

1 and everything it's 100 now and everything is  
2 functioning well, what has been proven that they  
3 need to go up to 120 feet if it's functioning now  
4 with the elevation at 100?

5 CHAIRMAN BOYD: Your time is up. Finish your  
6 thought and we will move on.

7 MS. EDWARDS: If the monopole is backed up to  
8 a wetland there is an endangered habitat, there are  
9 animals, amphibians that need even ten square feet  
10 of water and that water is lost --

11 CHAIRMAN BOYD: Thank you.

12 MS. EDWARDS: -- then it should be rejected.

13 CHAIRMAN BOYD: We got it. Thank you. Does  
14 the applicant have anything else to say? Mr. Dolinski,  
15 you have a minute too.

16 MR. DOLINSKI: Just briefly. To reiterate  
17 again the current equipment works at 80 feet. Why  
18 now -- T-Mobile's conditions were stated that they  
19 want to go 125 feet in the future. That's a new  
20 condition. But the equipment has already proven to  
21 work at 80.

22 Secondly, T-Mobile a couple years ago had  
23 advertised repeatedly their system allows you to use  
24 your phone on your personal Wi-Fi system. So if the

1 cell tower doesn't cover or it's a weak coverage  
2 your personal Wi-Fi will automatically connect to  
3 your phone. Thanks.

4 CHAIRMAN BOYD: Thank you. Okay. I'm sorry.  
5 Anything else to say, applicant? All right. I'm  
6 sorry.

7 MR. VASSELLI: No. Thank you. Sorry about  
8 that, Mr. Chairman. We have nothing else to add.

9 MR. BOYD: We are going to start with Mr. Lee  
10 this time if you have any questions of the applicant  
11 or the staff.

12 MS. RODMAN: Mr. Chairman, if you don't mind  
13 there is just one item I would like to touch on  
14 before you jump into questions.

15 CHAIRMAN BOYD: Go ahead.

16 MS. RODMAN: One of the requirements of the  
17 village's zoning code is that a fall zone setback be  
18 provided for cell towers when they're proposed. What  
19 that requires is that there must be --

20 MS. KEATING: They can't hear you.

21 MS. RODMAN: I'm sorry. The zoning code requires  
22 with the construction of a new telecommunications  
23 tower that a fall zone setback be provided. That  
24 setback has to equal 125% of the height of the tower.

1 It's essentially a safe zone where if the tower were  
2 to fall over nothing within that area is damaged. It  
3 is a security measure. But the code does allow for  
4 that fall zone setback to be waived by the village  
5 board if certain conditions are met. That's  
6 discussed in the staff report. But the applicant  
7 didn't mention it so I just wanted to bring your  
8 attention to that.

9           The village code states that the village  
10 may reduce the required fall zone as part of the  
11 special use approval if the village finds the tower  
12 is less visible as a result and that safety is not  
13 compromised. Staff believes that those conditions  
14 have been met because the tower is being located as  
15 far away from the public right-of-way and the adjacent  
16 residences as possible. That's why the location was  
17 chosen as the applicants testified. So it is less  
18 visible as a result of that location.

19           In addition the sisters do own all of the  
20 property that surrounds the tower within that  
21 required fall zone area. And the tower has been  
22 designed -- And I am not an engineer so I will let  
23 engineers jump in if they need to. But they did  
24 have a structural engineer certify that the tower is

1 not designed to fail, of course, but under extreme  
2 circumstances should it fail it's designed to  
3 basically -- I believe for the top half if I am  
4 conveying this correctly to crumble on top of itself.  
5 It'll basically fold over in half and it would not  
6 fall over as you might think that something tall  
7 would just fall straight over. It's designed to  
8 kind of fold in half. So safety would not be  
9 compromised by reducing that setback. The tower  
10 would fall within the leased footprint and the leased  
11 footprint is a 35 x 40-foot area. So staff does not  
12 have any concerns with that. The village engineer  
13 also reviewed that. But I just wanted to make sure  
14 that got mentioned as part of the presentation.

15 MR. BOYD: Thank you. Back to Mr. Lee.

16 MR. LEE: Is there any sort of independent  
17 assessment done of the height and what's needed? I  
18 mean I can --

19 CHAIRMAN BOYD: Is that a question to staff?

20 MR. LEE: It is a question probably more to the  
21 staff. I mean I appreciate what Mr. Kauffman said.  
22 Obviously there's a potential conflict of interest  
23 working for T-Mobile. So I just wanted to make sure  
24 or just wanted to ask whether there was some sort of

1 independent assessment done as to the appropriateness  
2 of the height.

3 MS. RODMAN: I think that's a fair question.  
4 Staff does not do an independent assessment. We are  
5 not qualified to determine whether or not that height  
6 is really needed for a wireless provider. We don't  
7 have that expertise. But there is certainly a  
8 significant cost to building these towers, and it  
9 does not seem that they would build the tower higher  
10 than they need to build it.

11 One of the reasons that they are proposing  
12 to build the tower at the height that they are is  
13 because our village code requires when you build a  
14 cell tower that three wireless carriers have to be  
15 able to be accommodated on that tower. And so even  
16 though there are only two carriers right now that  
17 are looking to use the tower they have to build it  
18 to accommodate a third tower. So that is also part  
19 of what's driving the height is the need for them to  
20 meet the code in that regard.

21 MR. LEE: Again not being a specialist or an  
22 expert myself it's difficult for me to say whether  
23 100 is better or 80 is better or 125 is better. I  
24 mean Verizon sits on the chimney at Park Junior High.

1 Correct?

2 MS. RODMAN: Yes.

3 MR. LEE: And I think the specs on that were 70  
4 feet. Is that just because it's a lot farther away  
5 from trees?

6 MS. RODMAN: And I will let Mr. Kauffman address  
7 this in more detail, but I know that they did look  
8 at the Park Junior High site and I don't believe  
9 there is sufficient space left to accommodate the  
10 carriers. I think that's the issue. I will let him  
11 jump in.

12 MR. LEE: No, I understand that there is not  
13 space at Park. Verizon seems to be functioning  
14 appropriately at 70 feet at that location.

15 MS. RODMAN: That location again is much further  
16 south than where this tower is being proposed and  
17 the elevation is very different, ground elevation.

18 MR. LEE: The other items that I was looking at  
19 were according to the zoning code variation the  
20 request must follow criteria for a variance to be  
21 granted. The first two I was having a hard time  
22 linking up to figure out whether they truly met the  
23 undue hardship. And then also the plight of the  
24 owner is due to unique circumstances inherent to the

1 subject property and not due to the personal situation  
2 of the owner. I don't know if the applicant wants  
3 to speak directly to that. I know there were some  
4 materials in the write-up that will probably help  
5 the committee and probably help the audience understand  
6 whether those standards have been met.

7 MR. KAUFFMAN: So the question was were the  
8 variance standards met, the undue hardship question  
9 and is not due to the personal circumstances of the  
10 owner.

11 MR. LEE: Right. Specifically the first two.  
12 I don't know if the committee members had an issue  
13 with the third. I was struggling with the first  
14 two.

15 MR. KAUFFMAN: What was presented in the  
16 application regarding the variance requests -- and I  
17 am just going to if you don't mind open up what we  
18 submitted -- if the 25-foot variance is not granted --  
19 The first one is the strict application of the terms  
20 of the zoning code will result in undue hardship  
21 unless the specific relief is granted is the question.  
22 Our justification that we presented to the village  
23 was that if the 25-foot height variance is not  
24 granted T-Mobile's equipment would be mounted at 100

1 feet, and that scenario would be a special use  
2 permit only. At this elevation 25% of the coverage  
3 area will not have sufficient coverage. Residents  
4 of the Village of LaGrange Park will experience  
5 hardship as will T-Mobile, and they will have degraded  
6 access to critical public safety and wireless service.  
7 If the 25-foot height variance is not granted AT&T  
8 would need to mount its equipment at an elevation of  
9 90 feet. At this elevation AT&T has communicated  
10 they would not provide the minimum level of coverage  
11 required. As a result AT&T may need to approach the  
12 Village of LaGrange Park with a separate request for  
13 a separate 100-foot tower on this parcel or another  
14 one in the vicinity. Again if you look at Exhibit I,  
15 which is the colocation opportunities exhibit, you  
16 can clearly see that every structure that is  
17 surrounding the Village of LaGrange Park is colocated  
18 with either T-Mobile or AT&T's equipment or both.  
19 If the 25-foot height variance is not granted the  
20 Village of LaGrange Park public safety equipment  
21 will need to be mounted at 70 feet because we need  
22 to keep a space open at 80 feet for a third  
23 co-locator to make sure we comply with the village's  
24 code. Public safety service may be degraded as a

1 result of lowering the height of the equipment.  
2 Again the 70 feet sounds like it's the same. It is  
3 not because you are on the back end of the parcel.  
4 If 70 feet was at the front end it would be at 50  
5 feet.

6 And then as a part of the special use  
7 approval, again to reiterate what Emily had said,  
8 the tower can exceed the maximum height if the  
9 village finds that an exception is necessary for  
10 colocation purposes. And so the tower must exceed  
11 the maximum height of 100 feet to meet the coverage  
12 requirement for T-Mobile and AT&T and a future  
13 co-locator at 100 feet. Does that address the  
14 hardship question or is there something else?

15 MR. LEE: You threw out the number that 25% of  
16 the area would not have sufficient wireless coverage.  
17 Are we at 0% currently?

18 MR. KAUFFMAN: You would be at 0% if the  
19 building is torn down and there is no antenna.

20 MR. LEE: No, no, it's 25% would not have  
21 sufficient coverage. So at its current location on  
22 the sisters' house is that at zero? So 100% has  
23 sufficient coverage.

24 MR. KAUFFMAN: No.

1 MR. LEE: Are we going from zero to --

2 MR. KAUFFMAN: Actually I am going to put these  
3 on the -- I think this would be -- It's an  
4 illustration. I am just going to present them.

5 This is as is. So I just want to talk  
6 about this for a minute. So this area here is the  
7 woods, Salt Creek. This area here has degraded in  
8 your coverage as is today. Same with this. It is  
9 specifically to T-Mobile but it is answering the  
10 question of where we are today. Right? This is the  
11 propagation for T-Mobile at 120 feet today. So if  
12 this variance and special use permit is granted this  
13 area here still -- it still has degraded coverage.  
14 To go back to the conversation that Emily and staff  
15 and the sisters had when we originally proposed  
16 this, we did ask for 150 feet because we wanted to  
17 fill this gap here and this gap here.

18 MR. LEE: Did you do the study at 100 feet?

19 MR. KAUFFMAN: I did. I am glad you asked.

20 MR. LEE: I probably shouldn't have.

21 MR. KAUFFMAN: It's a separate one. Do you  
22 have that at 100 feet?

23 AUDIENCE MEMBER: It's not here.

24 MR. KAUFFMAN: I have a separate coverage sheet

1 at 100 feet. It shows it -- So at 100 feet, which  
2 I will bring this out which is out here, this area  
3 here specifically is cut off. So this area that  
4 goes right here is cut off because what happens is  
5 because of the angle that you are going at from here  
6 you are running into -- it doesn't clear this area  
7 to the southwest. So this area here cuts off about  
8 here on the map. So everything that's to the south-  
9 east, this area gets bigger.

10 The bigger effect is in this area right  
11 here which we also -- we can provide copies of this  
12 too. It was not asked as part of the package but we  
13 can provide copies of that.

14 MR. LEE: Does AT&T have their map?

15 MR. VASSELLI: AT&T is here and they would like  
16 to speak to it. I would like to introduce into the  
17 record Group Exhibit B, the maps provided by the  
18 provider.

19 CHAIRMAN BOYD: Thank you. It is accepted.

20 MR. VASSELLI: I will mark it just for the  
21 record.

22 (Whereupon, a document was marked as  
23 Group Exhibit B for identification.)

24 MR. VASSELLI: Again thank you, Mr. Chairman.

1 That's Group Exhibit B. I am marking it now. I  
2 will tender it to the court reporter.

3 The co-locator is here and did want to  
4 address the issue as well if the chairman will  
5 indulge on Mr. Lee's question.

6 CHAIRMAN BOYD: Have you been sworn in before?  
7

8 R O B E R T S T A P L E T O N,  
9 having been first duly sworn, testified as follows:

10 Yes, I have, Mr. Chairman. My name is  
11 Robert Stapleton. I am the president and CEO of  
12 National Wireless Ventures. We are a retained  
13 consultant by AT&T. I am past president of the  
14 Illinois State Wireless Association. I have been  
15 doing this for the past twenty years and as a  
16 consultant to AT&T and representing AT&T before  
17 bodies like you in the past.

18 This is a very unique situation. Currently  
19 we are on the building and we have been a tenant of  
20 the sisters for well over fifteen years at the site.  
21 We have done modifications over the period of time  
22 and everything else. At the same time technology  
23 has changed along those lines. As we talked before,  
24 wire line is changing. A thousand people a day are

1 disconnecting from wire line services. So with that  
2 we have to have better, more intense coverage. So  
3 what I will talk about tonight -- I will put them up  
4 here -- is what we call our propagation maps. And  
5 basically this is as things would stand if we would  
6 lose the site. Okay?

7           Just to give you a for instance where we  
8 are at here here is the existing site. I want to  
9 make sure I have the right map. This is the current  
10 site. You will see we have two points here. One is  
11 the existing site which is closer to Ogden Avenue  
12 and the other is the proposed new site and this is  
13 without the site altogether. We end up having a  
14 major situation here where we lose coverage in a big  
15 way.

16           And to give you an idea what all these  
17 other little spots are, yes, that is our surrounding  
18 coverage. But to give you an idea of where that  
19 surrounding coverage comes from this is Spinning  
20 Wheel Apartments. We are up on the roof of Spinning  
21 Wheel Apartments. As you know that's a 14-story  
22 building. So we have to shoot down to this site.

23           This site over here is over -- I believe  
24 it's at the LaGrange Public Works site and is a

1 self-support tower. And we're at approximately 125  
2 feet on that tower. There again we are shooting  
3 down to this site right now.

4 This site up over here is on the Comm-  
5 Scope building in Westchester, Illinois. There  
6 again it's a 13- or 14-story building. There again  
7 we are shooting down into the site.

8 This site up over here is Westchester Park  
9 District.

10 CHAIRMAN BOYD: If you could could you speed it  
11 along a little bit? Get to Mr. Lee's question.

12 MR. STAPLETON: The issue is we need the 125  
13 feet because by stepping back in the property we  
14 lose 25 feet right off the bat. So by losing the 25  
15 feet we have to recover that in some way. So that  
16 gets us basically from where we are at, roughly 84  
17 feet at the tower on the sisters' building. By  
18 losing that 25 feet and regaining, that's why we  
19 have to be at 110 for our equipment. And that's the  
20 basic challenge you have here.

21 And just one other point that came up  
22 before. The state law isn't a maximum of 100 feet.  
23 The state law doesn't address specific heights.  
24 There is a county issue and like in Cook County the

1 maximum height is 125 feet.

2 CHAIRMAN BOYD: Okay. Thank you. Mr. Lee,  
3 anything else?

4 MR. LEE: In the interests of time I will pass.

5 CHAIRMAN BOYD: Mr. Lambert?

6 MR. LAMPERT: Actually just a question,  
7 Mr. Chairman, if I can ask. The picture, a parity?  
8 Are we in a parity situation then? You are saying  
9 if you are at 84 feet on the sister house now --  
10 motherhouse but you lose 25 feet in ground elevation  
11 by going back to the tower that's where you get the  
12 need for the 90 -- in your case 110 if T-Mobile is  
13 going to be at 120? Just to clarify that.

14 MR. KAUFFMAN: That's the answer.

15 MR. LAMPERT: The original proposal would have  
16 been 150 feet because you would have been able to say  
17 we're enhancing our service to the local community  
18 or the surrounding area.

19 MR. KAUFFMAN: That's the answer to the question.  
20 I would just like to -- You want me to end this?

21 MR. VASSELLI: Yes, could we just make this  
22 Exhibit 3?

23 CHAIRMAN BOYD: Tell us what it is.

24 MR. KAUFFMAN: Okay. So this is Exhibit 3.

1 This was addressing the question that was asked about  
2 at 100 feet what happens and then why. So the  
3 proposed monopole at 100 feet is not recommended by  
4 us because this location about .15 miles north of  
5 the existing site which addresses the question of  
6 the drop-off. And then it is in the wrong direction  
7 meaning the location is closer to the forest preserve  
8 but it is not close to the road or people. One of  
9 the things you get, the angle, when you are at the  
10 street, that's the difference and that's what's  
11 presented here. So if the signal is going to have  
12 to cross about .3 miles of tall trees that are  
13 approximately 70 feet that causes signal loss. Even  
14 though it's above the tree line it does still cause  
15 signal loss. RF doesn't go as a laser beam; it goes  
16 as a wave. That affects the ability to cover the  
17 area that is to the west and southwest. That's the  
18 reason why 100 feet would not work. That's the  
19 propagation and the data for that.

20 CHAIRMAN BOYD: You are going to mark that as  
21 what?

22 MR. VASSELLI: I will mark that as Exhibit  
23 Number 3. It's a narrative regarding the summary of  
24 the unique location of the site, moving it as far

1 back as we can from the right-of-way. And because  
2 we have moved it so far back from the right-of-way  
3 it causes us an undue hardship and unique circumstance  
4 where we need that additional height which would be  
5 made up for if we put it in the front closer to the  
6 right-of-way.

7 (Whereupon, a document was marked as  
8 Exhibit Number 3 for identification.)

9 CHAIRMAN BOYD: Who prepared that narrative?  
10 Is it a document or something?

11 MR. KAUFFMAN: That document was prepared by  
12 somebody who is T-Mobile's engineer and who can be  
13 sworn in.

14 MR. VASSELLI: Can you explain your credentials  
15 for one second and can you explain what RF is just  
16 for the edification of the board?

17 CHAIRMAN BOYD: Very briefly.

18 MR. KAUFFMAN: RF engineers are electrical  
19 engineers who design cell phone networks. Adam  
20 Kauffman as I said before. We're a consultant for  
21 the wireless carriers. I have been in the industry  
22 since 1999 and have presented in front of hundreds  
23 of boards.

24 CHAIRMAN BOYD: Thank you.

1 MR. LAMPERT: Thank you. In the interests of  
2 time, Mr. Chairman, nothing further. Thank you.

3 CHAIRMAN BOYD: Mr. Studwell?

4 MR. STUDWELL: I have a couple questions. Staff,  
5 are there any other towers in LaGrange Park?

6 MS. RODMAN: We do not have any free-standing  
7 towers in the village. We do have a number of sites  
8 in the village that have equipment on top of them.

9 MR. STUDWELL: A question to the providers.  
10 Why the separation of 10 feet in between the different  
11 services whereas by observation you can see on the  
12 current location it doesn't have a 10-foot separation  
13 and on other facilities specifically water towers  
14 and other elevator shafts there is not a 10-foot  
15 separation.

16 MR. KAUFFMAN: There is a difference between  
17 horizontal and vertical separation which is the key  
18 of the distinguishing factors. If you look on the  
19 the roof of the motherhouse you will notice that  
20 they are not 10 feet horizontally separated from each  
21 other. But on towers if you pass them you see them  
22 or if you are looking at this they are 10 feet  
23 vertically separated. But they are 10 feet vertically  
24 separated for two reasons. One is to reduce physical

1 interference. The waves can interfere with each  
2 other. But the second reason is the size of the  
3 antennas is getting larger. They need that additional  
4 space for their equipment. It may not be something  
5 that the board is happy to hear but it is a fact.  
6 The size of the antennas are getting larger and they  
7 need that vertical space to accommodate future  
8 technological developments. It is both physical  
9 interference of the waves and then they need the  
10 physical separation from each other.

11 MR. STUDWELL: Okay.

12 MR. KAUFFMAN: It's midpoint to midpoint.  
13 That's something that may be a little confusing.  
14 They mount at 110. Their antennas extend three to  
15 four feet up and down. They are not physically  
16 separated 10 feet tip to tip just to be clear.

17 MR. STUDWELL: Have you started the NEEPA  
18 process yet?

19 MR. KAUFFMAN: That is actually complete. And  
20 a copy of that report actually is publicly available,  
21 but we can provide it to staff if they want to  
22 distribute it.

23 MR. STUDWELL: That's based on the 125 foot?

24 MR. KAUFFMAN: A hundred twenty feet with a

1 five-foot lightning rod. That is correct.

2 MR. STUDWELL: That's about it.

3 CHAIRMAN BOYD: Ms. Domagalski?

4 MS. DOMAGALSKI: My only question related to  
5 the timing of construction and how does that relate  
6 to the phasing of the demolition of the motherhouse.

7 MR. KAUFFMAN: We have projected for Mark that  
8 we would -- if we received approval from the board  
9 we would start -- try to start construction between  
10 January and April of next year which is what we  
11 included in the phasing. That would be the goal to  
12 have the tower built before they obviously have to  
13 deconstruct the motherhouse.

14 MS. DOMAGALSKI: That's all for me.

15 CHAIRMAN BOYD: Anything else?

16 MS. DOMAGALSKI: No.

17 CHAIRMAN BOYD: Mr. Bartholomi?

18 MR. BARTHOLOMI: Mr. Kauffman, you mentioned  
19 the tree line height earlier causing interference.  
20 What is the tree line height in that area?

21 MR. KAUFFMAN: Well, the tree line height  
22 actually varies. There is not one specific tree  
23 line height just to be clear. Generally speaking  
24 the trees in the area are set between 70 and 80 feet

1 and obviously growing each year. It is not just the  
2 trees that you need to clear. The antennas the way  
3 they propagate it propagates down toward the ground.  
4 So if you have any tree clutter at all you have to  
5 what RF engineers refer as clear the clutter. So  
6 the higher you are the more likely you are to get to  
7 the spot. There happens to be a ton of trees to the  
8 north and west, and that's why they need the height.

9 MR. BARTHOLOMI: Is that why you were  
10 originally hoping for 150 feet?

11 MR. KAUFFMAN: There are two neighborhoods that  
12 you see on the map that are not going to be  
13 adequately covered by this 120-foot tower. The  
14 150-foot goal was to solve coverage problems in the  
15 area for all of the carriers. After consultation  
16 with T-Mobile and AT&T in order to try to present as  
17 much of a compromise as possible they settled on the  
18 120-foot tower with AT&T at 110.

19 MR. BARTHOLOMI: I had a question for staff,  
20 the impact on the 9-1-1 system. So theoretically if  
21 this does not get approved then and this building is  
22 removed where does that leave us with 9-1-1?

23 MS. RODMAN: We could locate our equipment  
24 elsewhere. That is my understanding in speaking

1 with the police department. The equipment could  
2 be -- There are other sites that they believe the  
3 equipment could be located on. However, our  
4 preference would be to be located on this tower  
5 because it's in close proximity to where the equipment  
6 is now and it would provide an ideal height. My  
7 understanding is it wouldn't create an issue for us.

8

9 DEAN MAGGOS,

10 having been first duly sworn, testified as follows:

11 There are two issues. One is availability  
12 to receive 9-1-1 calls from cell phones which we  
13 have not evaluated it, but if they truly don't have  
14 coverage in that area it could impact that. And  
15 then in addition to just receiving 9-1-1 calls from  
16 the carrier we have an amplifier. I forget the  
17 exact term for it. But it runs our police department  
18 frequency and it is currently located on the sisters'  
19 house. And so when we transmit to police officers  
20 in the field it actually -- in that area it transmits  
21 off the sisters' house. That is not just for  
22 LaGrange Park but LaGrange and Western Springs.  
23 That is one of the areas where we actually transmit  
24 from. So that can be relocated. But the impact of

1 the 9-1-1 service I don't think we evaluated other  
2 than there would be coverage gaps which could impact  
3 us.

4           In looking at this we do not have all the  
5 details, but if we do move to this tower from where  
6 we're at now that would obviously enhance our joint  
7 communications process where we are trying to  
8 consolidate our communications centers. And we do  
9 feel it would be a good location versus trying to  
10 find another location. It could enhance services.

11           MR. BARTHOLOMI: Thank you. And then my final  
12 question very quick. Does the 35 x 40-foot area  
13 that's going to be fenced in, is it a security  
14 fence? I would like to know is it going to be wired  
15 with sirens?

16           MS. RODMAN: It is basically a secured fence.  
17 The village code only allows it to be six feet in  
18 height. They were proposing chain link. They were  
19 originally proposing razor wire which the village  
20 does not allow. Just a six-foot chain link fence.  
21 My understanding is it will be locked and access  
22 will only be provided to those carriers that have  
23 equipment on the tower. It will also be landscaped  
24 in accordance with the village code.

1 MR. BARTHOLOMI: Okay. Thank you. That's all  
2 my questions.

3 CHIEF MAGGOS: If I could just correct something,  
4 I believe it would be called a -- I think it's a  
5 repeater site is what we call it. Currently the  
6 fire department does not use it but the police  
7 department uses it for their communications.

8 CHAIRMAN BOYD: Thank you. Besides that repeater  
9 site or the amplifier does LaGrange Park have any  
10 other equipment on that existing structure?

11 CHIEF MAGGOS: Not that I am aware of.

12 CHAIRMAN BOYD: All right. Staff, any other  
13 questions or comments? Can I have a motion to close  
14 the public hearing?

15 MS. DOMAGALSKI: I will move.

16 MR. STUDWELL: Second.

17 CHAIRMAN BOYD: All in favor of closing the  
18 public hearing say aye.

19 (A voice vote was taken.)

20 CHAIRMAN BOYD: Any opposed? Thank you.

21 (Which were all the proceedings had  
22 and testimony taken at the public  
23 hearing of the above-entitled cause.)

24 STATE OF ILLINOIS )

1 COUNTY OF C O O K )  
2

3 I, MARLANE K. MARSHALL, C.S.R., a  
4 Notary Public duly qualified and commissioned for  
5 the State of Illinois, County of Cook, do hereby  
6 certify that I reported in shorthand the proceedings  
7 had and testimony taken at the hearing of the  
8 above-entitled cause, and that the foregoing  
9 transcript is a true, correct, and complete report  
10 of the entire testimony so taken at the time and  
11 place hereinabove set forth.

12  
13  
14   
MARLANE K. MARSHALL



Notary Public

15 CSR License #084-001134  
16

17 My commission expires:

March 13, 2016.  
18  
19  
20  
21  
22  
23  
24

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	<b>1-800</b> 24:9 <b>10</b> 25:7 56:10,20 56:22,23 57:16 <b>10-foot</b> 56:12,14 <b>100</b> 8:23 20:9,16 21:12 25:17 35:19 39:1,4 43:23 45:24 47:11,13 48:18 48:22 49:1,1 52:22 54:2,3 54:18 <b>100-foot</b> 21:11 23:17 36:19 46:13 <b>100%</b> 38:19 47:22 <b>109</b> 24:18 27:8 <b>110</b> 8:22 25:19 31:5 52:19	<b>50</b> 11:20 23:16 26:8,20 33:4 47:4 <b>50-foot</b> 23:18 27:11 <b>55th</b> 9:21	<b>50</b> 11:20 23:16 26:8,20 33:4 47:4 <b>50-foot</b> 23:18 27:11 <b>55th</b> 9:21	
	<b>2</b>	<b>6</b>	<b>6</b>	
	<b>20</b> 20:19 <b>2016</b> 1:8 4:7 63:17 <b>2016-05</b> 1:4 <b>25</b> 20:19 34:1 52:14,14,18 53:10 <b>25-foot</b> 45:18,23 46:7,19 <b>25%</b> 46:2 47:15 47:20	<b>60402</b> 3:3 <b>637</b> 33:11	<b>60402</b> 3:3 <b>637</b> 33:11	
	<b>3</b>	<b>7</b>	<b>7</b>	
	<b>3</b>	<b>7:00</b> 4:13 12:24 <b>70</b> 44:3,14 46:21 47:2,4 54:13 58:24 <b>75</b> 23:14 25:23 33:1 38:24	<b>7:00</b> 4:13 12:24 <b>70</b> 44:3,14 46:21 47:2,4 54:13 58:24 <b>75</b> 23:14 25:23 33:1 38:24	
	<b>4</b>	<b>8</b>	<b>8</b>	
	<b>4</b>	<b>8:15</b> 13:1 <b>8:45</b> 1:8 <b>80</b> 20:4 39:17,21 43:23 46:22 58:24 <b>80%</b> 30:24 31:2 <b>84</b> 52:16 53:9	<b>8:15</b> 13:1 <b>8:45</b> 1:8 <b>80</b> 20:4 39:17,21 43:23 46:22 58:24 <b>80%</b> 30:24 31:2 <b>84</b> 52:16 53:9	